



# City of San Marcos

## Regular Meeting Historic Preservation Commission March 2, 2023, 6:00 PM City Hall, Council Chambers 630 East Hopkins Street

*The Commission member presiding over the meeting will be present at this location.*

**Due to COVID-19, this will be a hybrid (in-person/virtual) meeting. For more information on how to observe the virtual meeting, please visit:**

**<https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>**

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*The Historic Preservation Commission may adjourn into executive session to consider any item on the agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made on the basis for the Executive Session discussion. The Historic Preservation Commission may also publicly discuss any item listed on this agenda for Executive Session.*

### **I. Call To Order**

### **II. Roll Call**

- III. 30 Minute Citizen Comment Period:** *Persons wishing to participate (speak) during the citizen comment period must submit their written comments to [hpccommission@sanmarcostx.gov](mailto:hpccommission@sanmarcostx.gov) no later than **12:00 p.m. (noon)** on the day of the meeting. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. Timely submitted comments will be read aloud during the citizen comment portion of the meeting. Comments shall have a time limit of three minutes each. Any threatening, defamatory or other similar comments prohibited by Chapter 2 of the San Marcos City Code will not be read. Please indicate if you would like to speak in person.*

### **ELECTION OF THE FOLLOWING OFFICERS:**

1. Historic Preservation Commission Chairperson
2. Historic Preservation Commission Vice Chairperson

### **MINUTES**

3. Consider approval, by motion, of the February 9, 2023 regular meeting minutes.

## PUBLIC HEARINGS

Written comments or requests to join in a public hearing must be sent to [hpccommission@sanmarcostx.gov](mailto:hpccommission@sanmarcostx.gov) the day prior to the meeting and no later than **12:00 p.m. (noon)** on the day of the hearing. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. Comments shall have a time limit of three minutes each. Any threatening, defamatory or other similar comments prohibited by Chapter 2 of the San Marcos City Code will not be read. Any additional information regarding this virtual meeting may be found at the following link: <https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>. Please indicate if you would like to speak in person.

4. **HPC-23-04 (1108 West San Antonio Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Vanessa McMahan to allow the construction of a six-foot-tall wood privacy fence along the southwest property line and to allow the construction of a four-foot-tall hog panel fence in order to enclose in the front yard.
5. **HPC-23-05 (141 East Hopkins Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Jamie Frailicks, on behalf of Brian Scofield, to allow the installation of a new awning sign on the front façade of the building to reflect the name of a new business in the building.
6. **HPC-23-06 (804 Burleson Street)** Hold a public hearing and consider a request for a Certificate of Appropriateness by Kristy Money to allow the construction of a new, detached, two-story, three-car garage, which will include a 1,000 square foot Accessory Dwelling Unit (ADU) on the second floor.

## UPDATES

7. Updates on the following:
  - a. HPC Committee Reports Concerning Recent Activities
  - b. Grant Opportunities and Updates
  - c. National Register of Historic Places Nomination Project
  - d. Dunbar School Home Economics Building Restoration Progress
  - e. Historic Preservation Plan Update
  - f. Upcoming Events and Training Opportunities

## IV. FUTURE AGENDA ITEMS

Board Members may provide requests for discussion items for a future agenda in accordance with the board's approved bylaws. *(No further discussion will be held related to topics proposed until they are posted on a future agenda in accordance with the Texas Open Meetings Act.)*

## **V. QUESTION AND ANSWER SESSION WITH PRESS AND PUBLIC**

This is an opportunity for the Press and Public to ask questions related to items on this agenda. Persons wishing to participate remotely in the Q&A session must email [hpccommission@sanmarcostx.gov](mailto:hpccommission@sanmarcostx.gov) beginning the day prior to the meeting and before 12:00PM the day of the meeting. A call-in number to join by phone or link will be provided for participation on a mobile device, laptop or desktop computer. If attending in person, no sign up is required.

## **VI. ADJOURNMENT**

### **Notice of Assistance at the Public Meetings**

The City of San Marcos is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. If requiring Sign Language Interpreters or alternative formats, please give notice at least 2 days (48 hours) before the meeting date. Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos ADA Coordinator at 512-393-8000 (voice) or call Texas Relay Service (TRS) by dialing 7-1-1. Requests can also be faxed to 855-461-6674 or sent by e-mail to [ADArequest@sanmarcostx.gov](mailto:ADArequest@sanmarcostx.gov). For more information on the Historic Preservation Commission, please contact Alison Brake, Historic Preservation Officer at 512.393.8232 or [abrake@sanmarcostx.gov](mailto:abrake@sanmarcostx.gov).



# CITY OF SAN MARCOS

## Meeting Minutes

### Historic Preservation Commission

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Thursday, February 9, 2023

6:00 PM

Hybrid Meeting

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**Due to COVID-19, this was a hybrid in-person/virtual meeting. For more information on how to observe the virtual meeting, please visit:**

**<https://sanmarcostx.gov/2861/Historic-Preservation-Commission-VideosA>**

#### **I. Call To Order**

Ms. Amanda Hernandez, Interim Director, Planning & Development Services, thanked Commissioner Perkins for his service on the Commission as it was his last meeting.

With a quorum present the regular meeting of the San Marcos Historic Preservation Commission was called to order at 6:01 p.m. on Thursday, February 9, 2023.

For compliance with the Texas Open Meetings Act, Ms. Hernandez opened the meeting due to Chair Perkins and Vice Chair Baker being virtual. Texas Open Meetings Act states the "Presiding officer" must be in the room where the meeting is being held and open to the public. Commissioner Rogers volunteered to act as Chair for this meeting.

#### **II. Roll Call**

**Present** 6 – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Absent** 1 – Commissioner Dake

#### **III. 30 Minute Citizen Comment Period:**

Billy Ray Callihan, 740 Centre Street, read a letter he wrote to the Commission in which he suggested a nine-member special committee be formed to discuss amending the name of the Charles S. Cock House.

Lisa Marie Coppoletta, 1322 Belvin Street, suggested an open dialogue regarding the name amendment of the Charles S. Cock House. She also suggested that citizens be allowed to sit on the special committee if one is formed. She expressed concern that sidewalks along Belvin Street would be destroyed and encouraged the Commission to provide comments on the draft Comprehensive Plan.

### **MINUTES**

- 1. Consider approval, by motion, of the January 5, 2023 regular meeting minutes.**



**A motion was made by Commissioner Perkins, seconded by Commissioner Rogers, to approve the minutes of the January 5, 2023 regular meeting as submitted. The motion carried by the following vote:**

**For: 6** – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Against: 0**

### **PUBLIC HEARING**

- 2. HPC-23-01 (802 West San Antonio Street) Hold a public hearing and consider a request for a Certificate of Appropriateness by Mike Wills, on behalf of Stephanie Rubiano Shropshire, to allow the construction of a new, detached 712 square foot single-story workshop/art studio to be located behind the existing detached garage in the rear yard of the property.**

Alison Brake, Historic Preservation Officer, gave a presentation outlining the request. She concluded the construction of a new, detached 712 square foot single-story workshop/art studio to be located behind the existing detached garage in the rear yard of the property was consistent with the San Marcos Development Code [Sections 4.5.2.1(l)(1)(a), 4.5.2.1(l)(1)(b), 4.5.2.1(l)(1)(c), 4.5.2.1(l)(1)(d), 4.5.2.1(l)(1)(g), and 4.5.2.1(l)(1)(j)] and the Secretary of the Interior Standards for Rehabilitation [Standard Numbers 1, 2, 9, and 10], and inconsistent with the San Marcos Development Code [Section 4.5.2.1(l)(1)(h).

Mike Wills, 801 Columbia Avenue, stated that he was available for any questions the Commission may have.

Commissioner Rogers closed the public hearing.

**A motion was made by Commissioner Perkins, seconded by Commissioner Little, that the main motion be amended to include the condition that custom-built wood windows will be utilized on the new structure.**

**The motion carried by the following vote:**

**For: 6** – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Against: 0**

Discussion regarding how the new structure would affect the trees in the rear yard ensued.

**Commissioner Rogers called for a vote on the main motion: the approval of the construction of a new, detached 712 square foot single-story workshop/art studio located behind the existing detached garage in the rear yard of the property with the condition that custom-built wood windows be utilized on the new structure. The motion was seconded by Commissioner Rogers.**

**The motion carried by the following vote:**

**For: 6** – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Against: 0**

- 3. HPC-23-02 (141 East Hopkins Street) Hold a public hearing and consider a request for a Certificate of Appropriateness by Jamie Frailicks, on behalf of Brian Scofield, to allow a new wall sign to be painted on the North LBJ Drive façade to reflect the name of a new business in the building.**

Alison Brake, Historic Preservation Officer, gave a presentation outlining the request. She concluded the installation of a new wall sign painted on the North LBJ Drive façade to reflect the name of a new business in the building was consistent with the San Marcos Development Code [Section 4.5.2.1(l)(1)(g)] and the Secretary of the Interior Standards for Rehabilitation [Standard Numbers 1, 2, 3, 5, and 9], and neutral with the Secretary of the Interior Standards for Rehabilitation [Standard Number 10].

Jamie Frailick, 124 Lilypad Trail, stated that he was available for any questions the Commission may have.

Commissioner Rogers closed the public hearing.

**A motion was made by Commissioner Baker, seconded by Commissioner Perkins, to approve the installation of a new wall sign painted on the North LBJ Drive façade to reflect the name of a new business in the building as presented on the screen during the meeting.**

**The motion carried by the following vote:**

**For: 6** – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Against: 0**

- 4. HPC-23-03 (130 East San Antonio Street) Hold a public hearing and consider a request for a Certificate of Appropriateness by John Gonzales, on behalf of Ashley Wilson, to allow a new wall sign to be installed on the front façade to reflect the name of a new business in the building.**

Alison Brake, Historic Preservation Officer, gave a presentation outlining the request. She concluded the installation of a new wall sign installed on the front façade to reflect the name of a new business in the building was consistent with the Secretary of the Interior Standards for Rehabilitation [Standard Numbers 1, 2, 3, 5, 7, and 9], and neutral with the San Marcos Development Code [Section 4.5.2.1(l)(1)(g)] and the Secretary of the Interior Standards for Rehabilitation [Standard 10].

No one spoke. Commissioner Rogers closed the public hearing.

**A motion was made by Commissioner Dedek, seconded by Commissioner Perkins, to approve the installation of a new wall sign on the front façade as submitted.**

**The motion carried by the following vote:**

**For: 6** – Commissioner Perkins, Commissioner Baker, Commissioner Little, Commissioner Rogers, Commissioner Ong'olo, and Commissioner Dedek

**Against: 0**

**UPDATES****5. Updates on the following:**

- a. HPC Committee Reports Concerning Recent Activities**
- b. Grant Opportunities and Updates**
- c. National Register of Historic Places Nomination Project**
- d. Dunbar School Home Economics Building Restoration Progress**
- e. Upcoming Events and Training Opportunities**

- a. There were no updates to report. Staff stated the Preservation Month Committee would be contacted to set a meeting date to begin the planning process for May's event.
- b. Nothing to report from staff.
- c. Staff provided information on the project website (<https://arcg.is/nS4KH>). Staff explained that information about the project will be on this site and also explained the interactive functions on the site, such as the ability for the public to tell their stories of the neighborhood.
- d. Staff stated that Dodson House Moving will be performing the stabilization/levelling of the building. The company has over 40 years of experience in moving historic buildings or helping to level them, most notably the previous home to the Liberty Bar in San Antonio which had leaned sharply for years since a flood in 1921. The company is also one of the only certified deconstruction contractors in the City of San Antonio. Staff will work with Communications to provide information to the public before stabilization begins.
- e. Staff stated that San Antonio will be hosting the Historic Homeowners Fair is this Saturday, February 11<sup>th</sup> at the TriPoint Event Center.

**DISCUSSION ITEMS****6. Discussion regarding current tree and habitat protection requirements and provide feedback to staff.**

Staff presented the tree & habitat protection requirements as regulated by Chapter 6, Article 4 of the San Marcos Development Code.

The Commission discussed the potential to bring a recommendation resolution that would explore the possibilities of creating a tree removal permit process, similar to the City of Austin's.

Commissioner Little suggested that the committee formed last year, comprised of Commissioners Little, Dake, and Baker, should meet before a recommendation resolution is discussed for the committee to bring forward their recommendations to the Commission first. The Commission concurred that this was best.

**FUTURE AGENDA ITEMS**

Commissioner Baker asked that the following be added as a discussion item on a future agenda:

- Sidewalks and streetscape in the Historic Districts

Commissioner Perkins asked that a standing update item regarding the Preservation Plan be added to the agenda.

**QUESTION AND ANSWER SESSION WITH PRESS AND PUBLIC**

Billy Ray Callihan asked three questions:

1. Question directed to Commissioner Little: Who should he contact about the trees on his property growing into the powerlines? She responded to contact SMTX Utilities.
2. Question directed to the Commission: Can the trees in front of his house be trimmed so the house can be seen? Ms. Hernandez responded that trimming trees was an allowed activity.
3. Question directed to the Commission: Where can he find funding to help with restoration of his house? Commissioner Perkins answered that Mr. Callihan could investigate the CDBG program as well as Texas State's Bobcat Build Program.

**THERE BEING NO FURTHER BUSINESS CHAIR PERKINS DECLARED THE MEETING  
ADJOURNED AT 7:36 P.M.**

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Jennifer Rogers, Acting Chair

**ATTEST:**

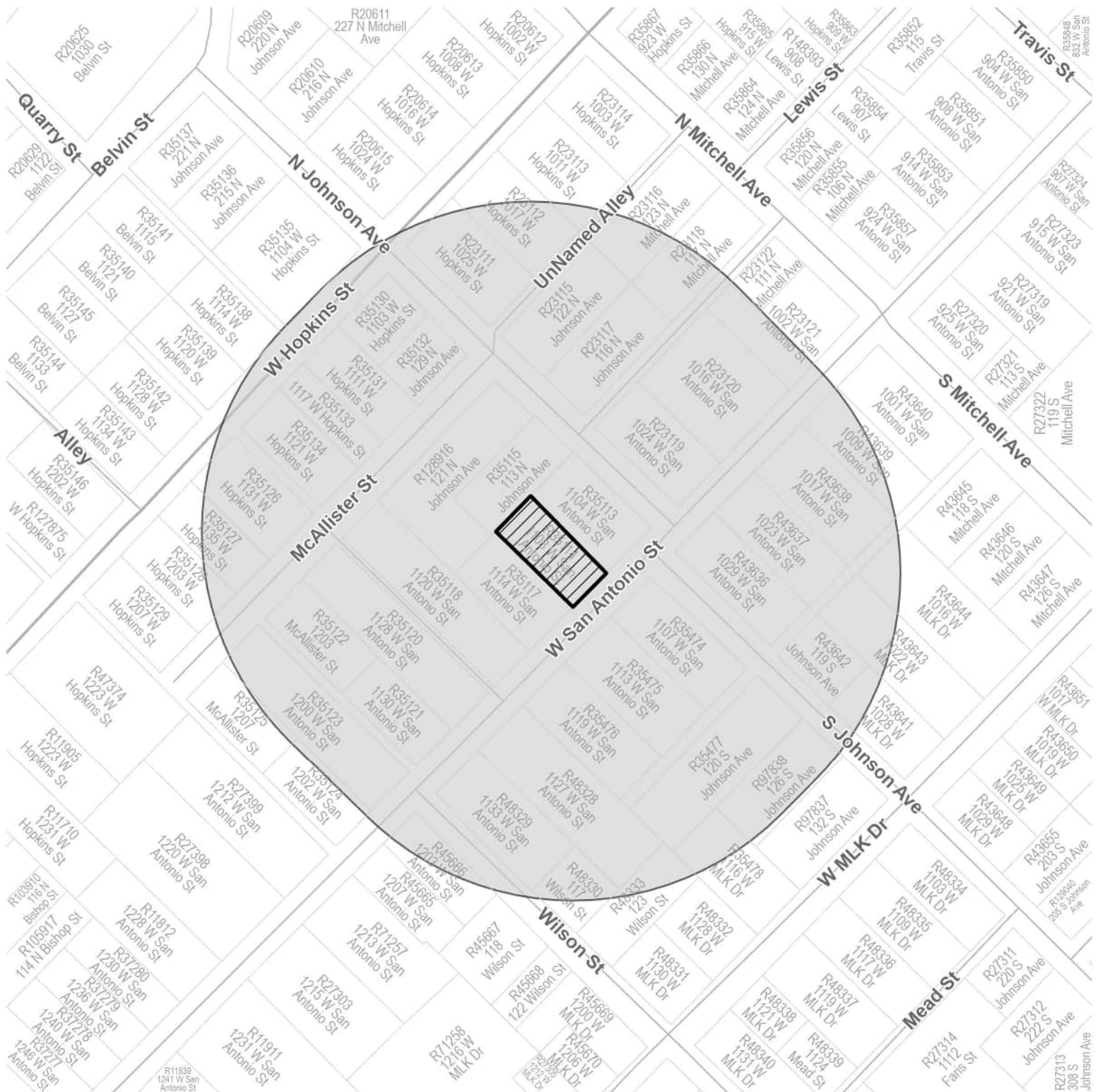
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Alison Brake, Historic Preservation Officer

HPC-23-04

# Certificate of Appropriateness - 1108 W San Antonio St (Fences)

400ft Notification Buffer



- Subject Property
- Parcel
- 400ft Buffer



0 100 200 400 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023

Site Location







- Subject Property
- Parcel



0 75 150 300 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023

Site Location





# Certificate of Appropriateness

## HPC-23-04 (1108 West San Antonio Street)



### Summary

<b>Request:</b>	Addition of a six-foot-tall wooden privacy fence along the southwest property line Addition of a four-foot-tall hog panel fence to enclose the front yard		
<b>Applicant:</b>	Vanessa McMahan 1108 West San Antonio Street San Marcos, TX 78666	<b>Property Owner:</b>	Vanessa McMahan 1108 West San Antonio Street San Marcos, TX 78666

### Notification

<b>Personal Mailing:</b>	February 17, 2023	<b>Posted Notice:</b>	February 17, 2023
<b>Response:</b>	None as of the date of this report		

### Property Description

<b>Address:</b>	1108 West San Antonio Street (See: Aerial Map)		
<b>Location:</b>	South of the intersection with North Johnson Avenue		
<b>Historic District:</b>	San Antonio Street	<b>Contributing Structure</b>	No
<b>Date Constructed:</b>	1989	<b>My Historic SMTX Resources Survey:</b>	Low
<b>National Register of Historic Places:</b>	Not Listed	<b>Recorded Texas Historic Landmark:</b>	No
<b>Building Description:</b>	Two-story, 1,694 square feet, single-family residential structure		

### My Historic SMTX Historic Resources Survey Summary

<b>X</b>	<b>Low</b>	<b>Medium</b>	<b>High</b>
Low priority properties are those that clearly lacked integrity, were significantly altered or deteriorated, or lacked overall architectural or historical significance. In addition, those resources not of historic age or vacant parcels were also evaluated as low priority and non-contributing.			
The database states the property was evaluated with a low preservation priority since the residence is not of historic age. (See: Historic Resources Survey Inventory Table)			

# Certificate of Appropriateness

## HPC-23-04 (1108 West San Antonio Street)



### Current Request

The property owner would like to install a six-foot-tall wood, dog-eared privacy fence along the southwest property line. This fence would start at the front corner of the house and run towards the rear of the property.

Additionally, the property owner would like to enclose the front yard for her child to safely play in the front yard. To do this, she is proposing to install a hog panel style fence, that would be located approximately four feet from the curb which is the location of the front property line. Gates will be included as indicated on the site plan; the gates will be hog panel style to blend with the rest of the fence. Per the San Marcos Development Code, fences located in the front yard of a home, cannot be taller than four feet and must be 50% open.

Please refer to attached documents for a site plan which clearly marks the location of the fences and photographs taken by the applicant of similar hog panel fence styles in the surrounding historic districts.

### My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<b><u>No Affect</u></b>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <b><i>Approval of the request would not affect the activity noted above.</i></b>
<b><u>N/A</u></b>	For Historic Districts, compliance with the Historic District regulations
<b><u>No</u></b>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <b><i>The property owner will not suffer an extreme hardship.</i></b>
<b><i>See Analysis Below</i></b>	The construction and repair standard and guidelines cited in Section 4.5.2.1



# Certificate of Appropriateness

HPC-23-04 (1108 West San Antonio Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
		<u>N/A</u>	a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related.
		<u>N/A</u>	d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related.
	<u>X</u>		e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related. <b>Front yard fences are not common along this block of West San Antonio Street. The wooden privacy fence will be set back behind the front façade of the home.</b>
		<u>N/A</u>	f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.
<u>X</u>			g. <u>Relationship of materials, texture and color</u> . The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related. <b>Hog panel fences can be found within the San Antonio Street Historic District (924 W. San Antonio St.) and can be found in other districts, such as the Hopkins Street Historic District (903 W. Hopkins St.). Wooden privacy fences are also found within the San Antonio Street district.</b>
		<u>N/A</u>	h. <u>Roof shapes</u> . The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.

# Certificate of Appropriateness

HPC-23-04 (1108 West San Antonio Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
		<u>X</u>	<p><u>i. Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p> <p><b><i>The proposed hog panel fence, at four-feet-tall and transparent to meet Development Code regulations, allows the property owner to utilize the front yard without the fence becoming wall-like and allows the residential structure to still be seen.</i></b></p>
		<u>N/A</u>	<p><u>j. Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p>
<p><b><i>See Attached Historic District Guidelines (if necessary)</i></b>  <b><i>See Secretary of the Interior Standards Analysis Below</i></b></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><b><i>See attached Sections C.3.2.4, C.3.2.5, and C.3.4.5, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></b></p>

# Certificate of Appropriateness

HPC-23-04 (1108 West San Antonio Street)








Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <b><i>The property will remain a single-family home.</i></b>
		<u>N/A</u>	2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
		<u>N/A</u>	3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
		<u>N/A</u>	5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

# Certificate of Appropriateness

HPC-23-04 (1108 West San Antonio Street)

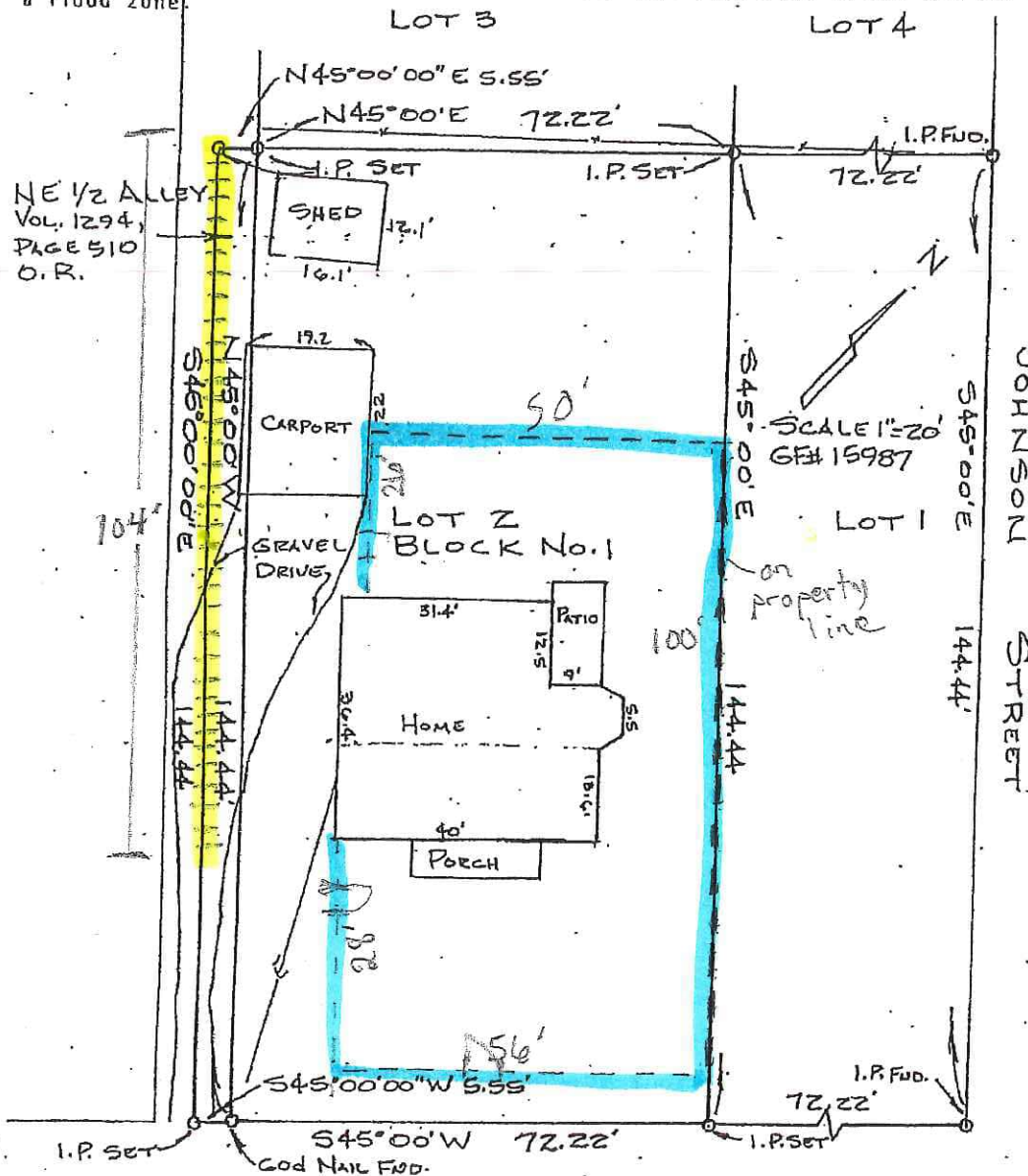


Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
		<u>X</u>	9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. <b><i>The home is not of historic age and, while front yard fences are not common on this block, the proposed hog panel fence is similar to others in the district and along West Hopkins. The transparency of the fence in the front yard allows the property owner to utilize their property without the fence becoming wall-like.</i></b>
<u>X</u>			10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired. <b><i>Each fence could be removed from the site in the future in a manner that will not impair the essential form and integrity of the property.</i></b>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R35474 	1107 W SAN ANTONIO ST SAN MARCOS		Domestic	Neoclassical Cottage (altered)	ca. 1905	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local	Individually: No In District?: Yes Contributing	Medium
			Domestic			<input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing		
San Antonio Street Local Historic District								
R35114 	1108 W SAN ANTONIO ST SAN MARCOS		Domestic		1989	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local	Individually: No In District?: Yes Non-contributing	Low (not historic)
			N/A			<input type="checkbox"/> In District <input type="checkbox"/> Contributing		
San Antonio Street Local Historic District								
R35475 	1113 W SAN ANTONIO ST SAN MARCOS		Domestic	Neoclassical Cottage	ca. 1905	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local	Individually: No In District?: Yes Contributing	Medium
			Domestic			<input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing		
San Antonio Street Local Historic District								
R35117 	1114 W SAN ANTONIO ST SAN MARCOS		Domestic	National Folk	ca. 1925	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local	Individually: No In District?: Yes Non-contributing	Low
			Domestic			<input type="checkbox"/> In District <input type="checkbox"/> Contributing		
San Antonio Street Local Historic District								
R35476 	1119 W SAN ANTONIO ST SAN MARCOS		Domestic	National Folk	ca. 1910	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local	Individually: No In District?: Yes Contributing	Medium
			Domestic			<input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing		
San Antonio Street Local Historic District								

Lot No. Two (2) in Block No. One (1) of the S. F. McAllister Addition to the City of San Marcos, Hays County, Texas, according to the map or plat thereof recorded in Volume "Z", Page 323 of the Deed Records of Hays County, Texas and the northeast 1/2 of the alley way located between Lot 2, Block 1 and Lot 1 Block 2, of the McAllister Addition recorded in Volume Z, Page 323 of the Hays County Deed Records as conveyed by Quit Claim Deed dated November 26, 1996, executed by the City of San Marcos, Texas to S. Mark Jeffers and Michelle Jeffers, recorded in Volume 1294, Page 510 of the Official Public Records of Hays County, Texas

According to FIRN 48209CD193 E Dated Feb. 18, 1998 this site is not located in a flood zone.



6' fence

traditional

wood fence

4' fence

hog paneling

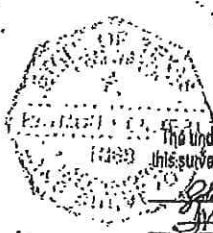
Buyer: John Patrick Cosgrove and Tecia Cosgrove, Address: 1108 West San Antonio Street, San Marcos, Texas

I, the undersigned, do hereby certify that the plat shown hereon was duly prepared by me or under my direct supervision and that it is a true and correct copy of the original as shown hereon. There is no other copy of this plat, and no other copy of this plat is in my possession or control. Witness my hand and seal of office this 21st day of March, 2000.

Raymond A. Dault 3/21/00

Surveyor

Updated 4/23/03



The undersigned hereby acknowledge that this survey has been reviewed and accepted.

John P. Cosgrove

Tecia M. Cosgrove

Date 4/24/03



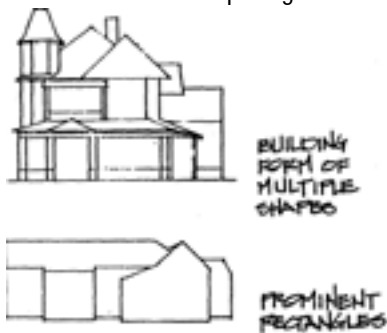
HPC-23-04 Hog Panel Fences in Historic Districts (photos provided by applicant)



1. Unique concrete street markers located at San Antonio Street intersections designate the block number and street name.
2. The San Antonio Street Historic District has a larger collection of Craftsman and modern housing styles than the Belvin Street Historic District.
3. Many of the yards have a “curb” just inside the sidewalk which further defines the yard from the parkway.
4. There have been many alterations to the houses in the San Antonio Street Historic District.
5. The density of San Antonio Street is substantially greater than that of Belvin Street due to the lot size and development pattern.

### Section C.3.2.4 Definitions of Historic District Characteristics

- A. Building Form.** Building form is primarily dictated by the style of the building. For example, Queen Anne and Victorian styles are recognizable by their compositions of multiple shapes which include bays, dramatic roof lines, dormers and porches. The Craftsman style is derived from a simplified rectilinear plan. The Neoclassical building also derived its form from a rectilinear plan but has a dominant central entry porch with columns which extend the full height of the building. The Tudor form is derived by one or more prominent cross rectangles, its building materials (principally masonry and stone) make it less compartmentalized with fewer openings.



- B. Scale.** The scale of a building is measured as the relationship of building size to something else, such as a human. Windows, entrances, porches, bays and the dimension of building

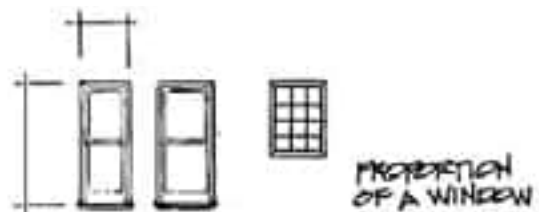
materials contribute to the overall scale of the building. The houses in these districts are one or two stories high and are considered to be “human” scale.



- C. Rhythm.** The rhythm of a street is created by the spacing between houses, the location and spacing of sidewalks from the curb to the entrances of the houses, the location and spacing of the driveway entrances to each property. The rhythm of the street adds to the visual continuity and establishes the organization and site design guidelines for a neighborhood.



- D. Proportion.** Proportion is the relationship of the dimensions of an object to itself, such as height to width. Proportion is inherent in all aspects of a building form, components and material. As an example, older homes with higher ceiling heights have windows that are taller than they are wide. This proportion is approximately 2 1/2 high to 1 wide. House styles of the 1960s to 1980s usually have lower ceiling heights so their windows are shorter and wider.



- E. The Relationship of Materials and Texture.** The materials and texture of each home is representative of the style and period of construction. The texture of a material can express mass. The

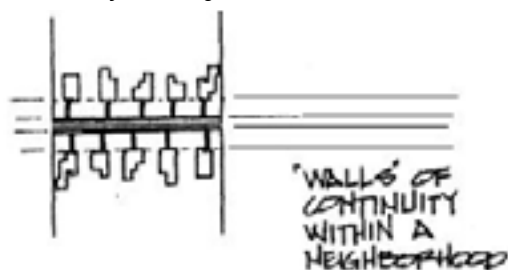


inherent properties and dimensions of construction materials like brick and wood boards help in understanding the home's size, scale and proportion. Because stucco has no dimension, it is difficult to measure its relationship to the scale of a building. Tudor houses, for example are constructed mainly of brick and stone and because of the size and texture of these materials, the houses express mass with a rustic appearance.



CONTRASTING  
MATERIALS  
EMPHASIZE  
DETAIL

- F. Walls of Continuity.** The front of each building, its walls, its porch alignment and even fences help define a “wall” that establishes a visual pattern along the streetscape. Each neighborhood has visual continuity, starting at the street which is basically a straight line of uniform width. A curb runs along the street defining the green space of the parkway followed by the sidewalk. Each of these elements work to organize a neighborhood. These organizational elements along with orientation and placement of houses on the lot establish the visual continuity of a neighborhood.



- G.** Due to the difference in lot size between the Belvin Street and San Antonio Street Districts, the visual continuity and rhythm are different. Each neighborhood has its own established organization which should be respected.
- H.** As changes are proposed to a site or house, review the lines of continuity and rhythm established in the neighborhood. Look at the scale, form and proportions of proposed changes. Will the proposed project retain and enhance the characteristics or will it create change?

### Section C.3.2.5 Site Development and Orientation

- A.** The organization pattern established in each Historic District guides the development and proposed alteration of each site. Historic neighborhoods were designed to be pedestrian friendly since walking was a major mode of transportation. Houses face the street with a logical, visible entrance and a sidewalk that leads from the street to this entrance. Sidewalks from the street to the front door help establish rhythm.
- B.** There is an established distance from the street to the house, which is called a setback. This setback reinforces the importance of the entrance and orientation of the building. Building beyond this setback would change the visual continuity established.



Concrete ribbons leading to garage behind the house (921 W San Antonio St)



Front yard fence does not obscure the house (730 Belvin St)

- C.** Driveway approaches in the front yard lead to garages and secondary outbuildings, which are located behind the main house. Contemporary style houses have incorporated their garage or carports into their house plan, but typically they do not project beyond the established front wall of the house. While the construction of new garages and carports is

sometimes necessary, their placement and approach should respect the original “front line” of the house. This would place them behind the existing setback. Locating them to the rear of the property is preferable.

- D. Front yards are defined by sidewalks, yard curbs, short walls, boundary walls made of stone, brick, concrete or concrete block. These walls are low in profile and do not obscure the house. Front yard fences are not common in these neighborhoods, but there is evidence of historic fences in the Belvin Street Historic District.
- E. The following guidelines are recommended:
  - 1. Retain the orientation of the house to the street. To change the entrance from the front would alter the pedestrian approach and rhythm.
  - 2. Removing or relocating the sidewalk from the street would break the rhythm of the neighborhood. Broken sidewalks should be replaced but the location should remain. The material should match the original or should be compatible with the house and the surrounding neighborhood. Materials such as stone, concrete or brick pavers, and decomposed granite are appropriate replacement materials and are not as harsh as large expanses of concrete.



**Strong pedestrian approach (220 N Johnson Ave)**



**Retain orientation of house to street (921 W San Antonio St)**

- 3. Driveway locations should not be altered if it affects the rhythm of the street. Materials that might be used for a driveway are gravel, pea gravel with a brick or metal edge band, pavers, concrete strips or “ribbons” and asphalt. Front yard circular drives are not appropriate to the neighborhood because they encroach on the setback and break the rhythm on the street.
- 4. The style of the house and the surroundings should be considered when thinking of any type of front yard fence. For example, an ornate Victorian fence would look out of place in front of a Craftsman style house.
- 5. Review the reason for wanting to install a front yard fence. Did one exist historically? Houses constructed in the 1880s had front yard fences to keep livestock from roaming into the yard. Houses built in the 1920s had no fences in the front yard, which reflected a “progressive” movement when fencing laws reduced the chance for roaming livestock.
- 6. Can the fence be installed at or behind the setback line?

### Section C.3.2.6 Modern Conveniences and Amenities

- A. Historic homes offer charm and character not always found in current residential construction. As families grow and residents grow older, needs change. Air conditioning is a welcome relief from the heat and humidity in San Marcos. Additional rooms and bathrooms may be necessary as children get older. Steps may become impossible to maneuver with age or a disability.

inherent property in stucco due to the shrinkage of the plaster. Small cracks can be concealed by applying an elastomeric paint which has the ability to stretch and return to its shape. Large cracks can be repaired and deteriorated or missing stucco can be replaced with stucco that matches the texture and composition of the original material.

- C.** Stucco is a material to be used as the initial exterior wall surface of a building. It is not intended to be installed over another wall surface material. Installing stucco over a wood siding will cause the wood beneath to deteriorate and will change the overall appearance of the house by eliminating the original detail and shadows of the boards.
- D.** The following guidelines are recommended:
  - 1. Retain and maintain original stucco.
  - 2. Avoid installing stucco over another material.

**Section C.3.4.5 Wood**

- A.** Wood was the primary building material in residential construction in San Marcos. It was readily available, did not require the skills of as many craftsmen, and was used for structural elements as well as skin.
- B.** The majority of houses built during this period on Belvin Street and San Antonio Street are covered with horizontal wood siding. Wood with a tapered profile is in clapboard or lap siding while a milled profile has a more decorative shape. Board and batten, which is a vertical siding, is commonly used on outbuildings such as garages, barns and sheds, and occasionally on small houses. Another common use of wood is decorative wood shingles used as a siding, which was relatively easy to use as a decorative feature on gable ends, turrets, or dormers. Patterns included fish scale, diamond, square cut, and rounded. Wood shingle roofs, although common, are not presently found on the historic houses in the two areas. This may be the result of previous replacement due to deterioration.
- C.** Wood details are found on all houses from all styles and periods of construction. Victorian and Classical styles include ornate turned columns, spindles, box columns, columns of classical order, brackets, bargeboards, cut and turned frieze details, elaborate doors and door surrounds. Less ornate details of the Craftsman, Folk Victorian and Colonial Revival

styles include box columns, brackets and simple porch railings. Wood was the most common material used for porch flooring and is prone to decay because of the exposure to weather conditions. Flooring was usually a high quality wood that was painted on all sides and edges prior to installation to prolong the life of the wood.

- D.** Wood is the primary skirting material on historic houses. Because houses were built above ground on posts and beams, a skirt was constructed from the floor level down to the ground. This skirting usually reflects the same siding profile as the house, was a wider horizontal board, or was a wood lattice, which allowed for ventilation. This wood lattice was commonly installed as a horizontal/vertical grid, rather than the wood lattice which is available today. Solid skirt materials must be vented to allow air to pass under the house and eliminate moisture from the foundation.
- E.** The following guidelines are recommended:
  - 1. Retain and repair wood siding and details.
  - 2. Replace missing or badly deteriorated wood features with wood of the same dimension and profile.
  - 3. Refrain from installing synthetic materials over existing wood materials because they frequently cause the historic material to rot.
  - 4. Refrain from replacing a deteriorated wood feature with another material.
  - 5. Explore the use of epoxy wood repair materials in lieu of replacing an entire wood member. This has proven effective on rotted column bases, window sills and sash, etc.
  - 6. Replace rotted wood that is in contact with the ground with a chemically treated wood to prolong the life of the feature. This can be done on skirting and steps. Treated wood can be used to rebuild lattice skirting by cutting strips from standard treated 2x4 material. All treated wood should be thoroughly dried prior to installation.

**Section C.3.4.6 Synthetic Materials**

- A.** With the advent of plastics and modern methods of forming materials, which were not available until after World War II, home owners have been influenced by the promise of

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



## CONTACT INFORMATION

Applicant's Name	Vanessa M <sup>c</sup> Mahan	Property Owner	Vanessa M <sup>c</sup> Mahan
Company	N/A	Company	N/A
Applicant's Mailing Address	1108 W. San Antonio St.	Owner's Mailing Address	1108 W. San Antonio St.
Applicant's Phone #	512.695.7088	Owner's Phone #	512.695.7088
Applicant's Email	vanessa.mcmahan@gmail.com	Owner's Email	vanessa.mcmahan@gmail.com

## PROPERTY INFORMATION

Address of Proposed Work: 1108 W. San Antonio St.

Historic District: San Antonio St HD Tax ID #: R \_\_\_\_\_

Legal Description: Lot 2 Block 1 Subdivision MC

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

## DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

Installing privacy fence between us and neighbors on property line and hog panel fence in the front yard. <sup>part</sup> Will then build raised beds in the front yard.

## AUTHORIZATION

Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

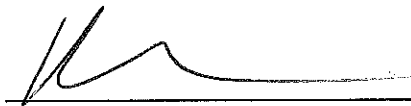
**APPLY ONLINE – WWW.MYGOVERNMENTONLINE.ORG/**

## PROPERTY OWNER AUTHORIZATION

I, Vanessa McMahan (owner name) on behalf of  
N/A (company, if applicable) acknowledge that I/we  
am/are the rightful owner of the property located at  
1108 W. San Antonio St. (address).

I hereby authorize N/A (agent name) on behalf of  
\_\_\_\_ (agent company) to file this application for  
\_\_\_\_ (application type), and, if necessary, to work with  
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner:



Date:

12/28/22

Printed Name, Title:

Vanessa McMahan, Owner

Signature of Agent:

\_\_\_\_\_

Date:

\_\_\_\_\_

Printed Name, Title:

\_\_\_\_\_

Form Updated October, 2019



## AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

*I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.*

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

*Vanessa McMahon*

Form Updated October, 2019

## **HPC-23-04**

### **Fences**

Staff finds request consistent with the following:

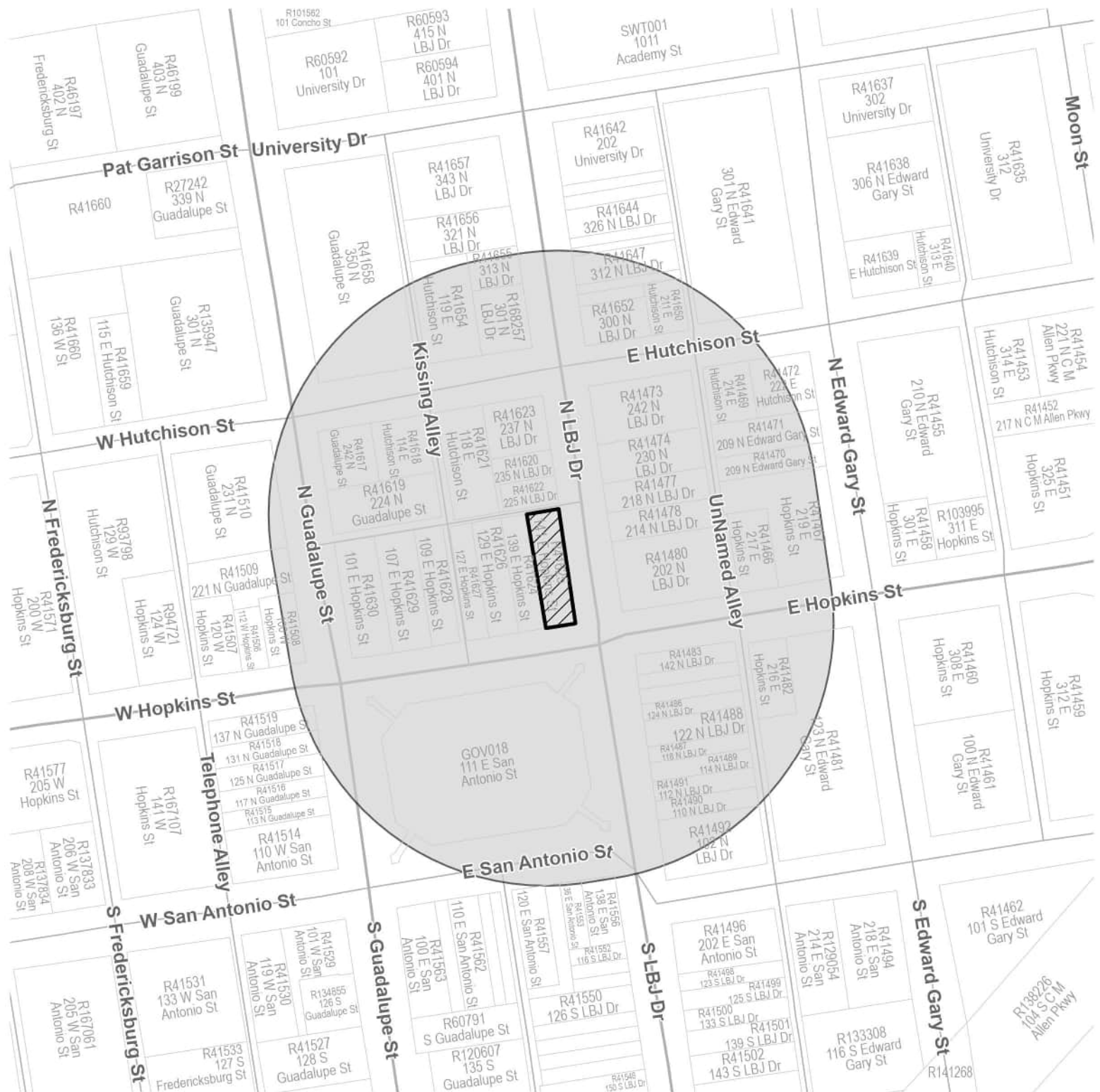
- **Sections 4.5.2.1(I)(1)(g):** San Marcos Development Code
- **Standards 1 and 10 :** Secretary of the Interior Standards for Rehabilitation

Staff finds request inconsistent with the following:

- **Section 4.5.2.1(I)(1)(e):** San Marcos Development Code

Staff finds request neutral against the following:

- **Section 4.5.2.1(I)(1)(i):** San Marcos Development Code
- **Standard 9:** Secretary of the Interior Standards for Rehabilitation

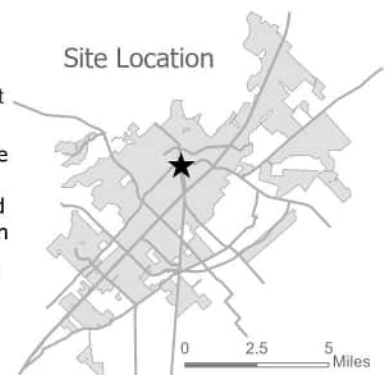


-  Subject Property  
 Parcel  
 400ft Buffer



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023

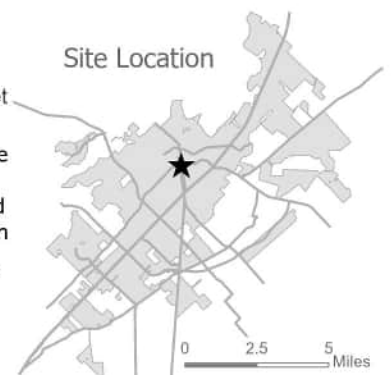






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Date: 2/16/2023





# Certificate of Appropriateness

## HPC-23-05 (141 East Hopkins Street)



### Summary

<b>Request:</b>	New awning sign on the front façade of the building		
<b>Applicant:</b>	Jamie Frailicks LBCDFrailicks, LLC 141 East Hopkins Street San Marcos, TX 78666	<b>Property Owner:</b>	Brian Scofield BL Scofield, Inc. 127 East Hopkins Street San Marcos, TX 78666

### Notification

<b>Personal Mailing:</b>	February 17, 2023	<b>Posted Notice:</b>	February 17, 2023
<b>Response:</b>	None as of the date of this report		

### Property Description

<b>Address:</b>	141 East Hopkins Street (See: Aerial Map)		
<b>Location:</b>	Corner of East Hopkins Street and North LBJ Drive		
<b>Historic District:</b>	Downtown, Hays County Courthouse NRHP District	<b>Contributing Structure</b>	Yes
<b>Date Constructed:</b>	1885	<b>My Historic SMTX Resources Survey:</b>	Medium
<b>National Register of Historic Places:</b>	Listed – 1992	<b>Recorded Texas Historic Landmark:</b>	No
<b>Building Description:</b>	Two-stories, approximately 14,437 square feet, stone with stucco cladding commercial building; rear half of building is brick		

### My Historic SMTX Historic Resources Survey Summary

Low	<input checked="" type="checkbox"/> <b>Medium</b>	High
Medium priority properties are those that could be contributing to an eligible National Register of Historic Places (NRHP) or local historic district. These resources may also have significant associations but are generally more common examples of types or styles or have experienced some alterations.		
The database states the property is known as the Donaldson Building, a two-part commercial block building with Italianate influences, see the arched wood windows with keystones on first floor side elevation and second floor. It began its life in 1885 as a hardware/stove store. The building was identified as a non-contributing structure in the National Register nomination due to the altered street-level facade with large, central fixed windows. The database notes that despite some alterations to ground floor store front, balance of building retains integrity. (See: Historic Resources Survey Inventory Table, excerpt from National Register of Historic Places nomination form, and 1885 Sanborn Map)		

# Certificate of Appropriateness

## HPC-23-05 (141 East Hopkins Street)



### Current Request

A new business will be opening in the building and the applicant is proposing to remove the “Freddy C’s Lounge” awning sign and replace it with the new business’s name, Wildfire. “Freddy C’s Lounge” will be moved to the right on the awning and will be combined with the existing awning sign to read “Freddy C’s Lounge and Patio Bar”. Awning signs are required to comply with Section 7.3.4.4 of the San Marcos Development Code and a sign permit will be required to be approved and issued prior to installation.

The applicant has submitted two renderings for review. One shows the Wildfire sign in red lettering outlined in yellow and the Freddy C’s Lounge and Patio Bar in white lettering. The other illustrates both signs in white lettering. The applicant’s preferred choice is the Wildfire sign in red lettering. The black awning is not proposed to change.

Please refer to attached documents for a photograph of the existing sign with the renderings of the proposed sign.

### My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<b><u>No Affect</u></b>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <b><i>Approval of the request would not affect the activity noted above.</i></b>
<b><u>N/A</u></b>	For Historic Districts, compliance with the Historic District regulations
<b><u>No</u></b>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <b><i>The property owner will not suffer an extreme hardship.</i></b>
<b><i>See Analysis Below</i></b>	The construction and repair standard and guidelines cited in Section 4.5.2.1

# Certificate of Appropriateness

HPC-23-05 (141 East Hopkins Street)



Staff Evaluation			<b>Construction and Repair Standards (Sec.4.5.2.1(l)(1))</b> New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
		<u>N/A</u>	a. <u>Height</u> . The height of a proposed building shall be visually compatible with adjacent buildings.
		<u>N/A</u>	b. <u>Proportion of Building's front Facade</u> . The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	c. <u>Proportion of openings within the facility</u> . The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related.
		<u>N/A</u>	d. <u>Rhythm of solids to voids in front Facades</u> . The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related.
		<u>N/A</u>	e. <u>Rhythm of spacing of Buildings on Streets</u> . The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.
		<u>N/A</u>	f. <u>Rhythm of entrance and/or porch projection</u> . The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.

# Certificate of Appropriateness

HPC-23-05 (141 East Hopkins Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
		<u>X</u>	<p><u>g. Relationship of materials, texture and color.</u> The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.</p> <p><b><i>The proposed awning sign will utilize the same black banner for a background. Both signs use a simple sans serif font which the Historic District Design Guidelines state that a sans serif style is easy to read and simple enough to be appropriate for many periods of architecture and types of signs.</i></b></p> <p><b><i>The applicant's preferred option for the new signage uses colored lettering. The Historic District Design Guidelines recommend light letters on a dark background as they are most legible. However, the Guidelines also state that color can add a splash of color if care is taken to ensure the colors complement and relate to the building. Doing this creates a visually coherent storefront. The proposed colored sign uses colors which add a splash of color but do not complement the neutral stone façade of the building. The proposed sign using white lettering is more consistent with this standard and recommendations in the Historic District Design Guidelines.</i></b></p>
		<u>N/A</u>	<p><u>h. Roof shapes.</u> The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p>
		<u>N/A</u>	<p><u>i. Walls of continuity.</u> Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p>
		<u>N/A</u>	<p><u>j. Scale of a Building.</u> The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p>
<p><b><i>See Attached Historic District Guidelines (if necessary)</i></b>  <b><i>See Secretary of the Interior Standards Analysis Below</i></b></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><b><i>See attached Sections C.4.1.7(E), C.4.1.7(G), and C.4.1.8, Article 4, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></b></p>

# Certificate of Appropriateness

HPC-23-05 (141 East Hopkins Street)








Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <b><i>The property will be used as a commercial building.</i></b>
<u>X</u>			2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <b><i>Distinctive materials will not be removed.</i></b>
		<u>N/A</u>	3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
<u>X</u>			5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved. <b><i>The sign will be located on the vertical valance flap allowing the distinctive features and materials of the building to be seen.</i></b>
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

# Certificate of Appropriateness

HPC-23-05 (141 East Hopkins Street)



Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
		<u>X</u>	<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><b><i>Addition of the awning sign will not destroy historic features, materials, and spatial relationships. Use of white lettering versus colored lettering is more consistent with this Standard.</i></b></p>
<u>X</u>			<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><b><i>The awning sign can easily be removed without impairing the essential form and historic integrity of the property.</i></b></p>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R41626 	129 E HOPKINS ST SAN MARCOS	The Taproom/The Porch on Hopkins	Commerce/Trade	Commercial Style	1890	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input checked="" type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: No	Medium
Hays County Courthouse NRHP District & Downtown Local Historic District								
R41624 	139 E HOPKINS ST SAN MARCOS	Harper's on the Square	Commerce/Trade	Commercial Style	1873	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input checked="" type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: No	Medium
Hays County Courthouse NRHP District & Downtown Local Historic District								
R41625 	141-145 E HOPKINS ST SAN MARCOS	Freddy C's Lounge Patio	Commerce/Trade	Commercial Style, Italianate	1885	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input checked="" type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: No	Medium
Donaldson Building Hays County Courthouse NRHP District & Downtown Local Historic District								
R41482 	216 E HOPKINS ST SAN MARCOS	Papa John's Pizza	Commerce/Trade	No Style	ca. 1950	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: No	Low
R41466 	217 E HOPKINS ST SAN MARCOS	Chimy's Restaurant	Commerce/Trade	No Style	ca. 1965	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: No	Low



United States Department of the Interior  
National Park Service

National Register of Historic Places  
Continuation Sheet

Section number 7/8 Page 7

Hays County Courthouse Historic District  
San Marcos, Hays County, TX

**139 East Hopkins Street**, Noncontributing, c. 1873 (with late 20th century modifications), Photograph 18

Description: 2-story brick building; on street level display windows flank central recessed door; awning/balcony; 2nd level two segmental arched windows on each side of a tripartite central door, all have keystones.

Significance: Main facade was destroyed (by fire?) and reconstructed recently and not sympathetically, thus the building is considered Noncontributing.

**145 East Hopkins Street**, Noncontributing, 1885 (with late 20th century modifications), Photograph 17 and 18

Description: 2-story brick building with stucco applied to most of main (south) facade; street level severely altered, modern awnings; brick, quoins appear original; above street level stucco applied around four original window openings; recent windows; east facade is original rough cut limestone.

Significance: Represents altered late Victorian era design applied to 2-part commercial block building; integrity of design, materials, and workmanship severely altered.

**202 East Hopkins Street**, Contributing, c. 1935

Description: 1-story brick building with stucco exterior; plate glass display windows flank central door, awning, transoms above; original parapet.

Significance: Intact local example of 1-part commercial block building.

**100 West Hopkins Street**, Contributing, c. 1891

Description: 2-story brick building with stucco exterior; main entrance with pediment and scrolled brackets at clipped corner; secondary entrances face south and east, each has a 1-bay awning; street level has series of casement windows with transoms; 2nd level has series of paired 2/2 windows; pilasters peak in Ionic capitals just beneath cornice; cornice bears brackets and modillions.

Significance: Good local example of Classical Revival design applied to a 2-part commercial block building.

**102 North Lyndon B. Johnson Drive**, Contributing, 1909-1910 at corner/1887 east/1985 north, Photographs 7, 13, and 15

Description: Three buildings that appear to be separate are actually interconnected; at the corner is the 1910, 3-story brick building with stucco exterior on the 1st level, two round arched windows flank a central door, giant Ionic pilasters expand from the 2nd to the 3rd levels, oculi with foliated highlights on the 3rd level, accentuated modillions at parapet; just east is the 1887, 3-story brick building with cast iron and glass store fronts at street level, brick pilasters divide paired windows on 2nd and 3rd levels have decorative brick hood molds, decorative brick cornice and parapet; just north is the 1985, 1-story brick building that carries some detailing similar to the corner building, such as segmental arches.

Significance: The corner building is a good local example of Classical Revival design, previously served as a bank while the 3rd level housed a lodge hall in the 1930s, now serves as county courthouse annex, recently rehabilitated; the building just east is a good local example of late Victorian era design, it previously served as the Hofheinz Hotel, now serves as part of county courthouse annex; the building just north is of recent construction and serves as part of county courthouse annex, although alone this building would be Noncontributing, since the two buildings it is interconnected with are strong contributors to the district, the overall building is considered Contributing.





Photo # ~~8~~ 105 106  
12

145 EAST HOPKINS STREET & 202 NORTH  
LYNDON B. JOHNSON DRIVE  
HAYS COUNTY, <sup>C.H.</sup> HISTORIC DISTRICT  
SAN MARCOS, HAYS CO., TEXAS

PHOTOGRAPH 17 of 20

12

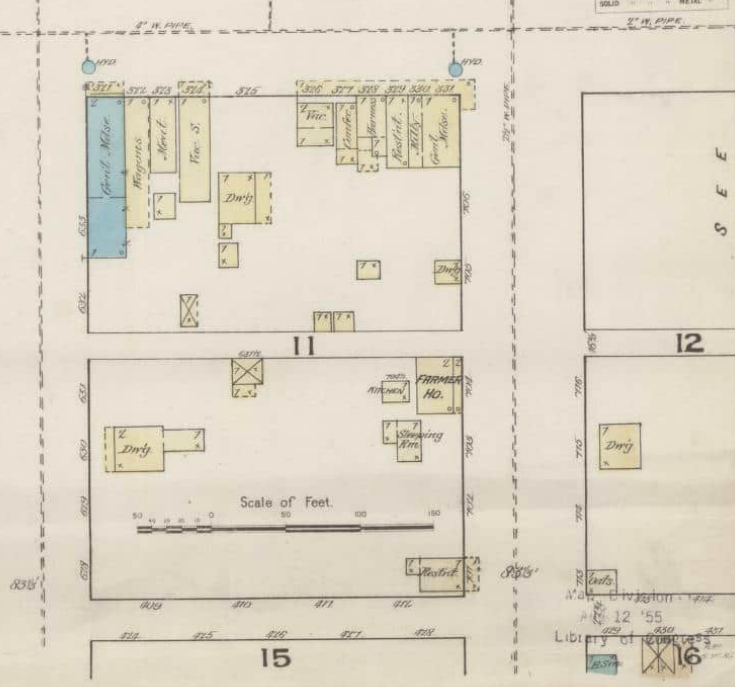
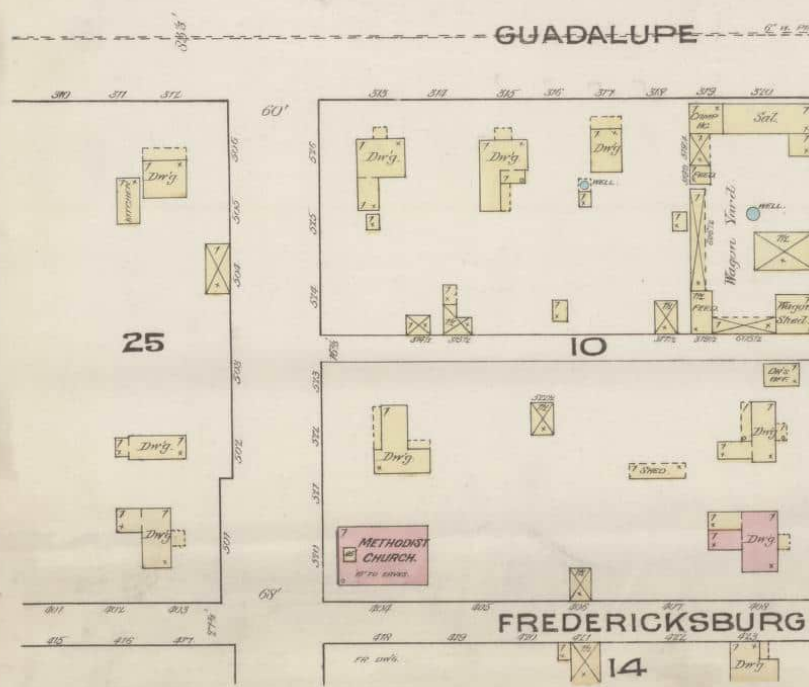
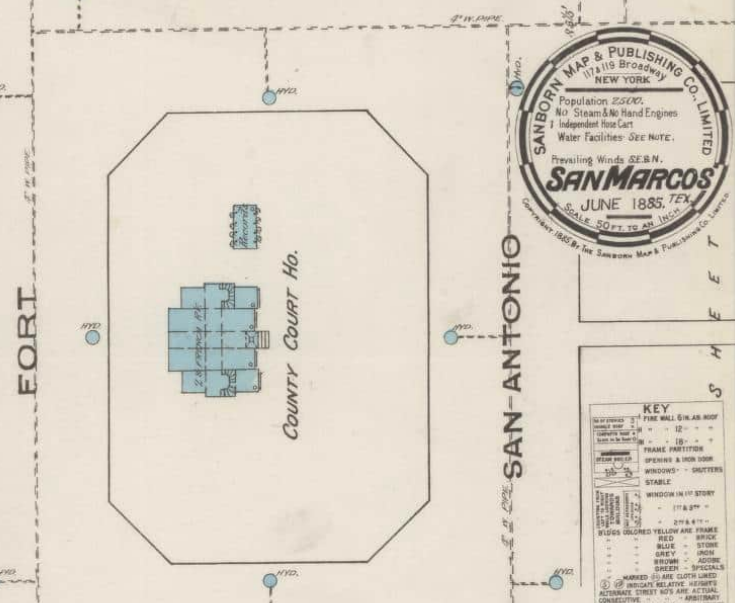
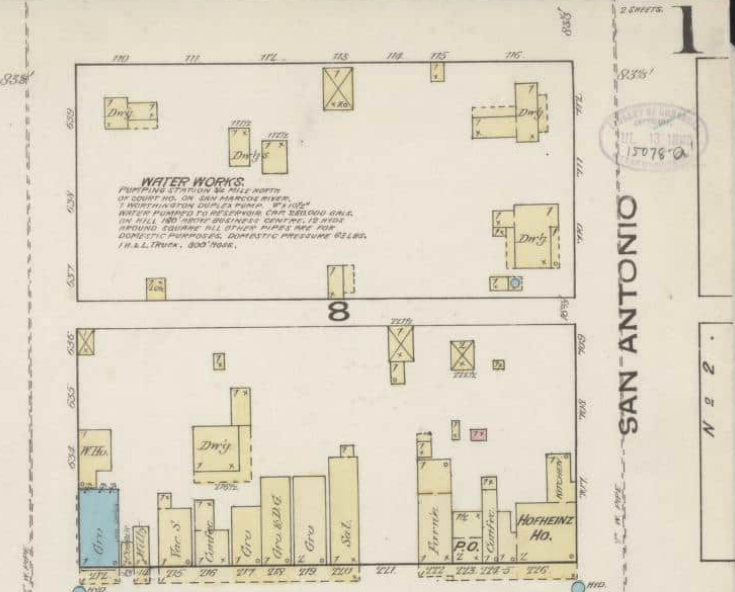
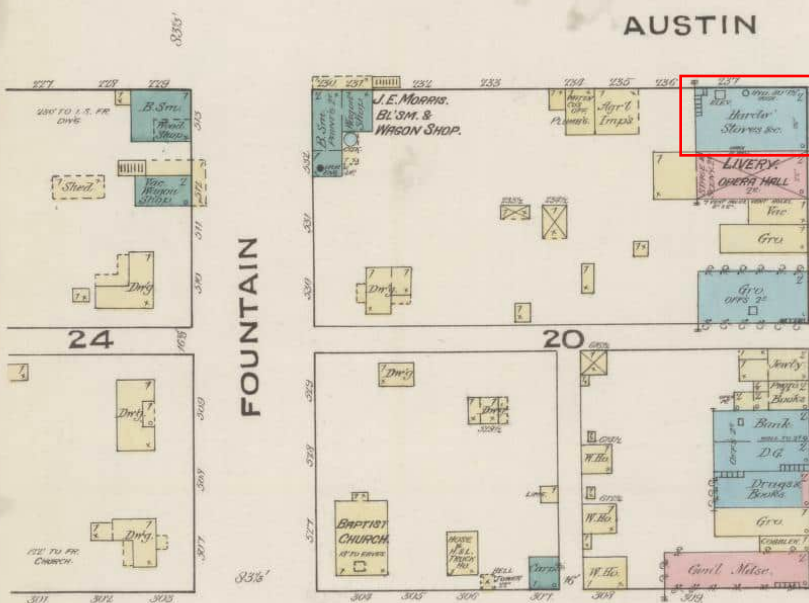
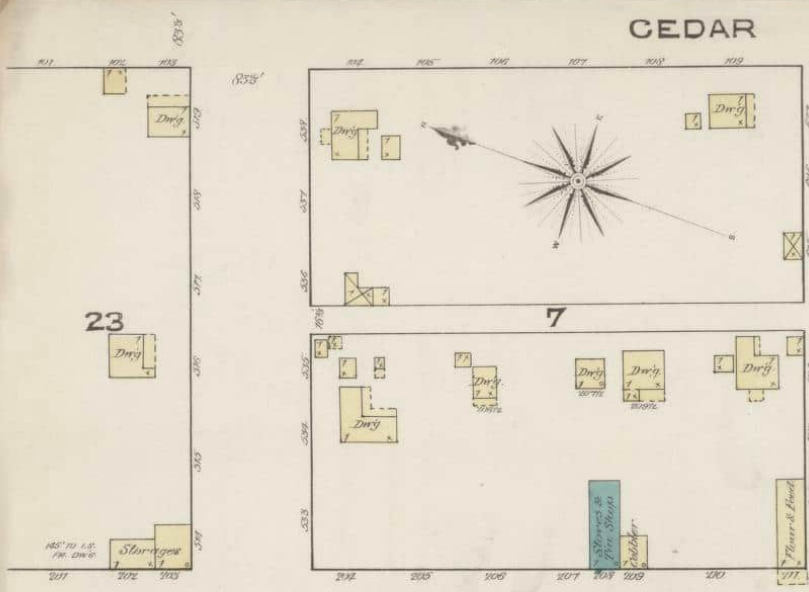




PHOTO # 18  
18

139 & 145 EAST HOPKINS STREET  
HAYS COUNTY <sup>C.H.</sup> HISTORIC DISTRICT  
SAN MARCOS, HAYS CO., TEXAS

PHOTOGRAPH 18 of 20



**SANBORN MAP & PUBLISHING CO. LIMITED**  
112 119 Broadway  
NEW YORK

Population 25,000.  
No Steam & No Hand Engines  
Independent Horse Cart  
Water Facilities: See Note.

Prevailing Winds S.E. & N.

**SAN MARCOS**  
JUNE 1885, TEX.

Scale 50 FT. TO AN INCH.

**KEY**

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**EXISTING AWNING SIGN**





# PROPOSED AWNING SIGN (PREFERRED OPTION)





**PROPOSED AWNING SIGN (w/WHITE LETTERING)**



Section 7.3.4.4 Awning or Canopy Sign



DESCRIPTION

An awning or canopy that contains a retail tenant sign. This sign type is a traditional shopfront fitting and can be used to keep shopfront interiors shaded and cooled, and provide temporary cover for pedestrians.

DIMENSIONS	ND-4, CD-4	N-CM, CD-5, CD-5D
Quantity (max)	1 per business	1 per business
Height (max)	2 ft	3 ft
Length (max)	10 ft	12 ft.
Requirements General to All Zones	The sign may be placed on either the vertical valance flap, the top, the sloped portion, or on a side panel of the awning or canopy.	



- E. Hanging Signs.** Hanging signs must provide at least 8 feet clearance above the sidewalk. They should be sized in proportion to the space allocated.



Good Example



Good Example

- F. Awning and Canopy Signs.** Awning or canopy signs should conform to the same size standards as signboards; that is, 1.5 square feet for every one foot of façade width, but no larger than 10% of the total façade.



Good Example

**G. Sign Lettering.**

The style, size, and spacing of letters determine whether a sign is easy to read or confusing. Selection of lettering should be based on readability and the desired image projected by the sign. Flamboyant or intricate lettering may be attractive, but it can also be difficult to read. Because the objective of a good sign is to have its message read quickly, clear and simple lettering is best.

- 1. Style.** There are three basic types of lettering: decorative, serif, and sans serif. Generally, decorative styles such as Gothic, Old English, or script are too complex to be easily read on a sign. Serif and sans serif styles are easy to read and simple enough to be appropriate for many periods of architecture and types of signs. The difference between the two type styles is the small spur of “serif” attached to each letter. Lettering without spurs (“sans serif”) is perceived as more modern. Serif lettering gives a formal, decorative appearance that is timeless enough for all kinds of businesses and signs. Either style is suitable today.
- 2. Size.** “The bigger the better” does not always apply to lettering. Letter size must be proportionate to the sign area. Background and border space is needed so the sign does not appear crowded.
- 3. Spacing.** The spacing of letters is a matter of proper judgment; an experienced designer should be consulted in this regard. The important elements are inter-letter, inter-word, and inter-line spacing. Sufficient “air space” increases readability.

This business owner obtained old photographs of his building, and patterned his sign after the one installed in 1906. Initially, there was concern that the lettering size was excessive, but historic documentation showed the building was large enough to accommodate it. Air space around the borders keeps the sign from appearing too crowded.



### Section C.4.1.8 Sign Color

- A. General.** Color is one of the most important aspects of visual communication. It adds richness to every environment. However, too many colors may confuse or negate the message of a sign. Use discretion. An otherwise well-planned sign may look unattractive due to poor color selection.
- B. Purpose.** Color can establish a unity among buildings of different scale, shape, or texture. Attention to this will make your sign part of an entire setting rather than an awkward element that is obviously added on. This integration is what gives the district a cohesive image. Choose colors related to the building facade or surrounding environment.

- C.** Limit the number of colors used in any one sign. Small accents of color make a sign unique and attractive, but the competition of many different colors diminishes its effectiveness.
- D. Contrast.** Contrast is an important factor in your sign's legibility. Light letters on a dark background are most legible, particularly when the sign size is constrained. This background isolates the individual message and, in areas where signs are numerous, greatly increases readability of each sign.
- E.** Traffic signs, now standardized throughout the country, are a good example of effective contrast between letters and background. The principles that guide the development of traffic signs apply to commercial signs as well, except that commercial signs can use a wider range of colors and letter styles.
- F. Accents.** Because most buildings are fairly neutral in color (earth tones, brick and stone, or muted paint), bright, intense colored signs draw attention away from the building. The sign can be the best place to add a splash of lively color to the overall paint scheme of a building, but care should be taken to ensure that the sign colors complement and relate to the building, creating a visually coherent storefront.



Good Example - sign color complements the paint scheme of the building



# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



## CONTACT INFORMATION

Applicant's Name	JAMIE FRAILICKS	Property Owner	BRIAN SCOFIELD
Company	JBCDFRAILICKS LLC	Company	BL SCOFIELD INC
Applicant's Mailing Address	141 E HOPKINS ST	Owner's Mailing Address	127 E HOPKINS ST
Applicant's Phone #	512-787-2191	Owner's Phone #	512-757-5445
Applicant's Email	frailicksllc@gmail.com	Owner's Email	blscofield@gmail.com

## PROPERTY INFORMATION

Address of Proposed Work: 141 E HOPKINS ST

Historic District: ORIGINAL TOWN OF SM

Tax ID #: R

Legal Description: Lot E Block 20

Subdivision

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

## DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

UPDATE AND CHANGE BUSINESS NAMES OF EXISTING AWNING. AWNING WILL REMAIN THE SAME BESIDES THESE CHANGES TO THE LETTERING.

## AUTHORIZATION

*Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.*

*I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

**APPLY ONLINE – [WWW.MYGOVERNMENTONLINE.ORG/](http://WWW.MYGOVERNMENTONLINE.ORG/)**

PROPERTY OWNER AUTHORIZATION

I, BRIAN SCOFIELD (owner name) on behalf of  
BL SCOFIELD INC (company, if applicable) acknowledge that I/we  
am/are the rightful owner of the property located at  
141 E HOPKINS ST (address).

I hereby authorize JAMIE FRAILICKS (agent name) on behalf of  
JBCDFRAILICKS LLC (agent company) to file this application for  
HPC (application type), and, if necessary, to work with  
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner:



Date: 1/6/23

Printed Name, Title:

BRIAN SCOFIELD, OWNER

Signature of Agent:



Date: 1/6/23

Printed Name, Title:

JAMIE FRAILICKS, OWNER



**AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS  
AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS**

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

*I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.*

Signature: \_\_\_\_\_

Date: 1/6/23

Print Name: \_\_\_\_\_

**JAMIE FRAILICKS**

Form Updated October, 2019

## **HPC-23-05**

### **Awning Sign**

Staff finds request consistent with the following:

- **Standards 1, 2, 5, and 10** : Secretary of the Interior Standards for Rehabilitation

Staff finds request neutral against the following:

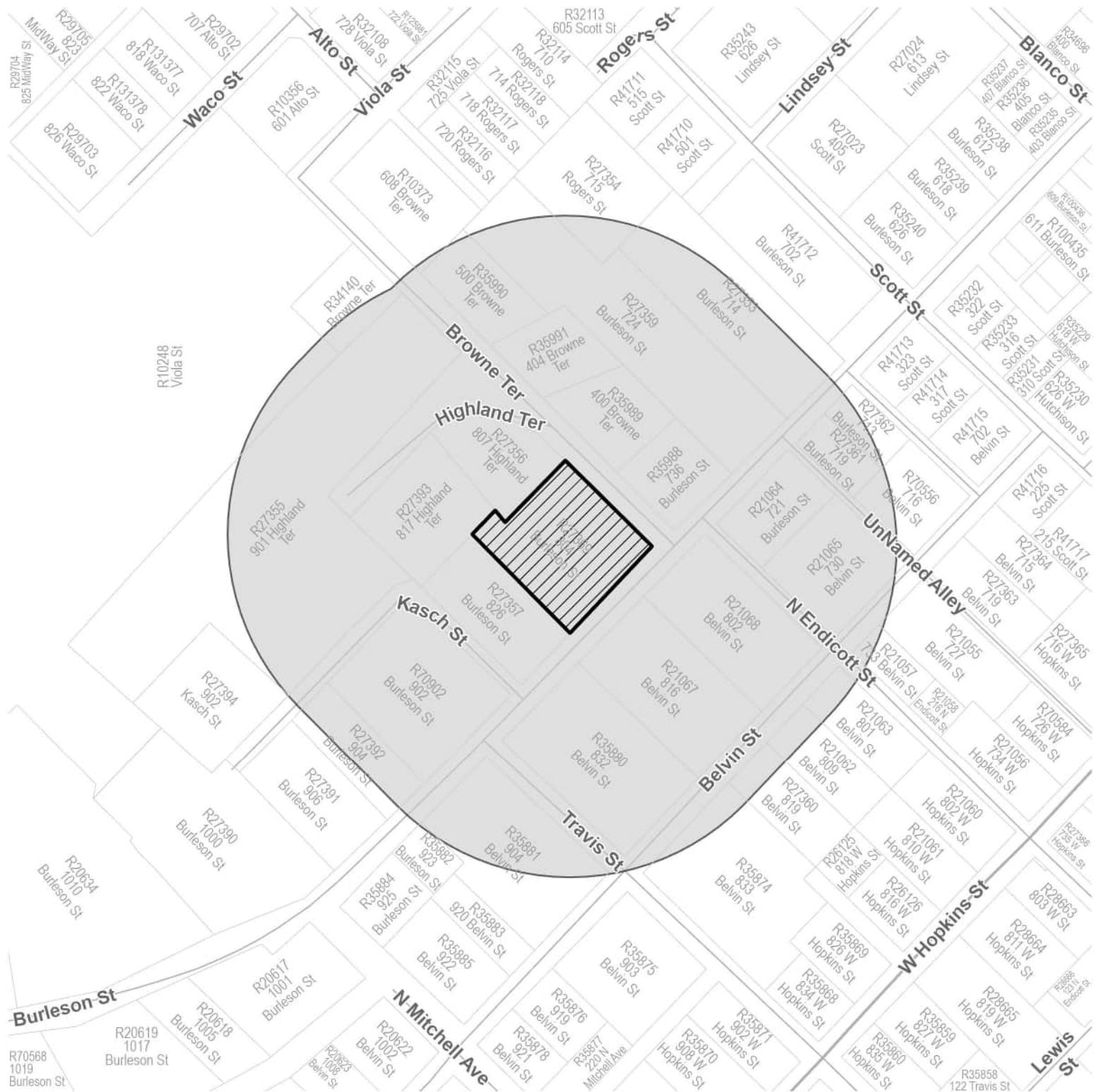
- **Section 4.5.2.1(l)(1)(g)**: San Marcos Development Code
- **Standard 9**: Secretary of the Interior Standards for Rehabilitation



HPC-23-06

# Certificate of Appropriateness - 804 Burleson St (Garage/ADU)

400ft Notification Buffer



-  Subject Property
-  Parcel
-  400ft Buffer

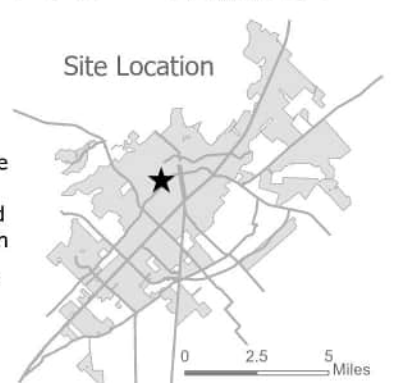


0 125 250 500 Feet

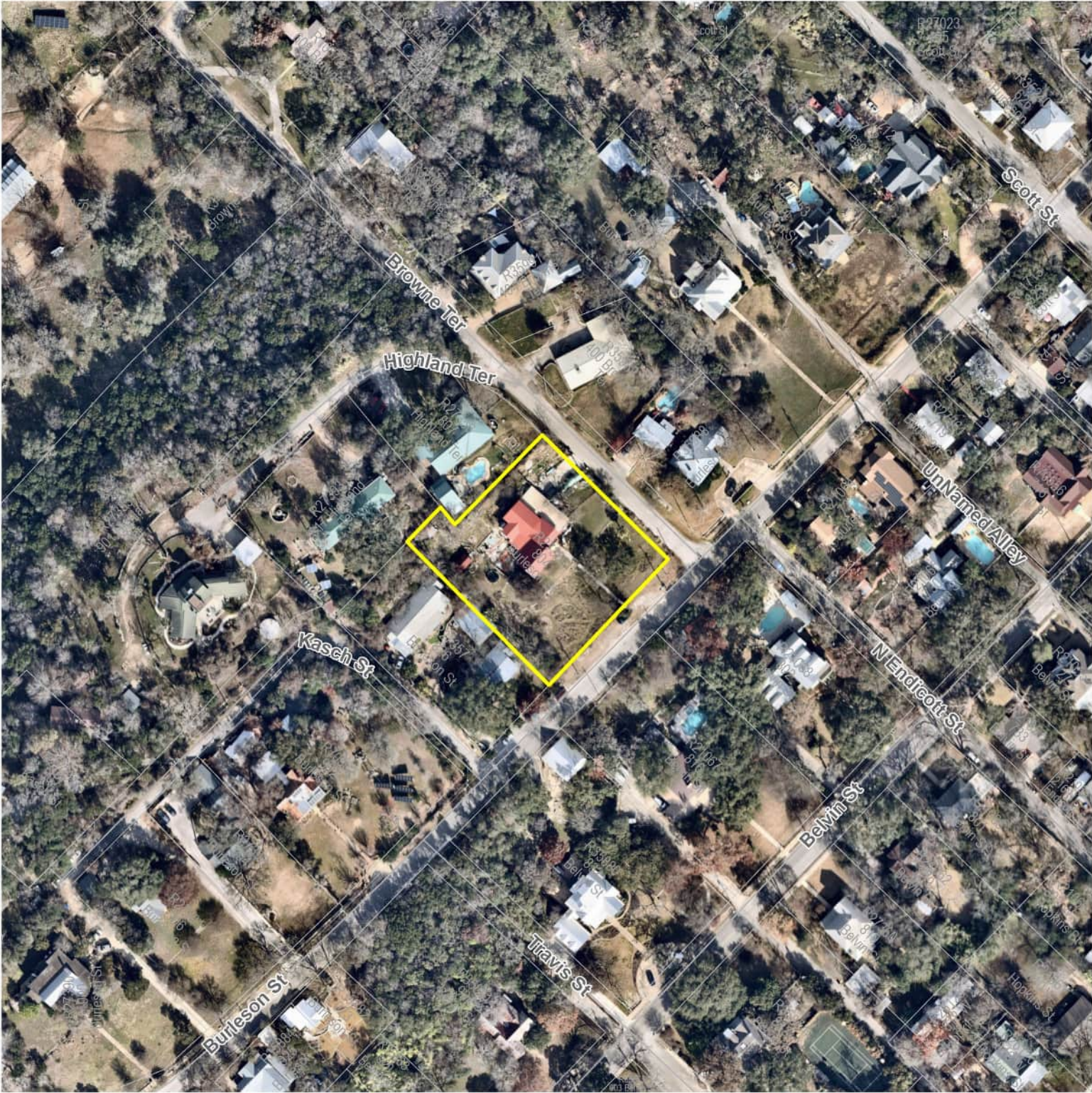
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023

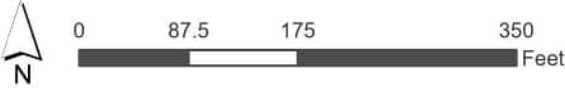
Site Location





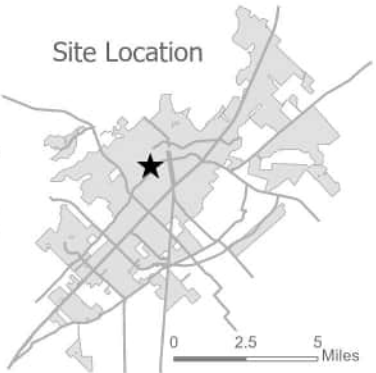


 Subject Property  
 Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/16/2023





# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)



### Summary

<b>Request:</b>	New detached, 3-car garage with an Accessory Dwelling Unit on the second floor		
<b>Applicant:</b>	Kristy Money 804 Burleson Street San Marcos, TX 78666	<b>Property Owner:</b>	Kristy Money 804 Burleson Street San Marcos, TX 78666

### Notification

<b>Personal Mailing:</b>	February 17, 2023	<b>Posted Notice:</b>	February 17, 2023
<b>Response:</b>	None as of the date of this report		

### Property Description

<b>Address:</b>	804 Burleson Street (See: Aerial Map)		
<b>Location:</b>	Corner of Burleson Street and Brown Terrace		
<b>Historic District:</b>	Burleson Historic District	<b>Contributing Structure</b>	Yes
<b>Date Constructed:</b>	1932	<b>My Historic SMTX Resources Survey:</b>	Medium
<b>National Register of Historic Places:</b>	Not Listed	<b>Recorded Texas Historic Landmark:</b>	No
<b>Building Description:</b>	Two-story, 3,463 square foot residential, stone construction material		

### My Historic SMTX Historic Resources Survey Summary

Low	<u>X</u>	Medium	High
Medium priority properties are those that could be contributing to an eligible National Register of Historic Places (NRHP) or local historic district. These resources may also have significant associations but are generally more common examples of types or styles or have experienced some alterations.			
The database states the property was the home of Willie (Holloway) & Frank Zimmerman. Mr. Zimmerman was the owner of the movie theaters in town in the 1930s and was known as "Mr. Theater". Information from the property owner states that Mr. Zimmerman came to San Marcos in 1922 from Los Angeles and was inspired by Hollywood Art Deco/Mediterranean styles. Mr. Zimmerman later became the Mayor of San Marcos and guided the effort to establish the police department, water and sewage facilities, the City jail, traffic lights, and garbage service. The database states that the stone used for this house was quarried from his father in law's ranch in Dripping Springs. The survey notes that the flat roof was altered to gabled and that the side porch was enclosed, and a roof added, with a rear carport addition in 1960s. (See Attached, Historic Resources Survey Inventory Table, 1944 Sanborn Map)			

# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)



### Current Request

The applicant is proposing to construct a new, detached, two-story, three-car garage that will include a 1,000 square foot Accessory Dwelling Unit (ADU) on the second floor. Accessory Dwelling Units are a limited use within a single-family zoning district. Section 5.1.3.1(C)(2) regulates these types of structures and uses.

The applicant originally brought this request coupled with a request for a driveway to the Commission in January; the request was denied. The applicant has modified the request to incorporate design points discussed by the Commission at the January 5, 2023 regular meeting, which include:

- Patio roof has been removed from design.
- Single garage doors are proposed versus one single door and one double-wide door.
- Stucco, with stone accents, is proposed for the exterior material.
- A new exhibit has been submitted showing the massing of the proposed structure next to the existing home.
- The renderings now include an illustration of the grading on the property.
- The floor plan has been provided.

Please refer to attached documents for the application documents, site plan, floor plan, photographs, material descriptions, and architectural renderings.

### My Historic SMTX Photograph



Staff Evaluation	Criteria for Approval (Sec.2.5.5.4)
<b><u>No Affect</u></b>	Consideration of the effect of the activity on historical, architectural, or cultural character of the Historic District or Historic Landmark <b><i>Approval of the request would not affect the activity noted above.</i></b>
<b><u>N/A</u></b>	For Historic Districts, compliance with the Historic District regulations
<b><u>No</u></b>	Whether the property owner would suffer extreme hardship, not including loss of profit, unless the certificate of appropriateness is issued <b><i>The property owner will not suffer an extreme hardship.</i></b>
<b><i>See Analysis Below</i></b>	The construction and repair standard and guidelines cited in Section 4.5.2.1



# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)



Staff Evaluation			<b>Construction and Repair Standards (Sec.4.5.2.1(l)(1))</b> New construction and existing buildings and structures and appurtenances thereof within local Historic Districts that are moved, reconstructed, materially altered or repaired shall be visually compatible with other buildings to which they are visually related generally in terms of the following factors; provided, however, these guidelines shall apply only to those exterior portions of buildings and sites visible from adjacent public streets:
Consistent	Inconsistent	Neutral	
<u>X</u>			<b>a. Height.</b> The height of a proposed building shall be visually compatible with adjacent buildings. <i>The proposed building will not be taller than the main structure. The applicant has provided that the main home is 32-feet tall from the front elevation facing Burleson Street. The renderings show the proposed structure to be a total of 21-feet tall from grade to roof. Due to the topography of the property, the applicant will have to excavate, or cut into, the site to construct the new structure. In the renderings, this is illustrated using a bold line with the portion below grade, where land has been excavated, is illustrated using a dashed line.</i>
<u>X</u>			<b>b. Proportion of Building's front Facade.</b> The relationship of the width of a building to the height of the front elevation shall be visually compatible to the other buildings to which it is visually related. <i>The applicant states that the main home is 77-feet wide, and the proposed width of the new structure is 32-feet. The width of the proposed building is not wider than the main home.</i>
		<u>X</u>	<b>c. Proportion of openings within the facility.</b> The relationship of the width of the windows in a building shall be visually compatible with the other buildings to which it is visually related. <i>The proposed openings on the second floor shown on the renderings are sliding glass doors that are proposed to function as windows. The applicant states that the doors measure 80-inches x 72-inches. The front of the main home includes large picture windows which the applicant states measure 108-inches x 72-inches.</i>
	<u>X</u>		<b>d. Rhythm of solids to voids in front Facades.</b> The relationship of solids to voids in the front facade of a building shall be visually compatible with the other buildings to which it is visually related. <i>There are more voids on the front façade of the main home than on the proposed structure. Three single garage doors will be installed, which is recommended by The Historic District Design Guidelines.</i>

# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)



Staff Evaluation			Construction and Repair Standards (Sec.4.5.2.1(l)(1))
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>e. <u>Rhythm of spacing of Buildings on Streets</u>. The relationship of a building to the open area between it and adjoining buildings shall be visually compatible to the other buildings to which it is visually related.</p> <p><b><i>The proposed structure will be located behind the front façade of the main home, towards the rear of the property, which the Guidelines note as preferable.</i></b></p>
		<u>X</u>	<p>f. <u>Rhythm of entrance and/or porch projection</u>. The relationship of entrances and porch projections to sidewalks of a building shall be visually compatible to the other buildings to which it is visually related.</p> <p><b><i>The proposed structure's entrance will be oriented to Burleson Street whereas the entrance to the main home is oriented towards Browne Terrace. However, both front façades are oriented to Burleson Street.</i></b></p>
<u>X</u>			<p>g. <u>Relationship of materials, texture, and color</u>. The relationship of the materials, and texture of the exterior of a building including its windows and doors, shall be visually compatible with the predominant materials used in the other buildings to which it is visually related.</p> <p><b><i>The applicant is proposing to utilize stucco for most of the exterior material for the proposed structure. The renderings show natural stone accents for the front façade of the first floor, or garage portion. Red metal roofing will be used for the awning located along the front facade, compatible with the red roof of the main home.</i></b></p>
	<u>X</u>		<p>h. <u>Roof shapes</u>. The roof shape of a building shall be visually compatible with the other buildings to which it is visually related.</p> <p><b><i>The proposed garage has a flat roof to provide patio space above the Accessory Dwelling Unit. The main home has a gable, metal roof.</i></b></p>
		<u>N/A</u>	<p>i. <u>Walls of continuity</u>. Appurtenances of a building including walls, fences, and building facades shall, if necessary, form cohesive walls of enclosure along a street, to ensure visual compatibility of the building to the other buildings to which it is visually related.</p>
<u>X</u>			<p>j. <u>Scale of a Building</u>. The size of a building, the mass of a building in relation to open areas, the windows, door openings, porches and balconies shall be visually compatible with the other buildings to which it is visually related.</p> <p><b><i>The scale of the proposed building is compatible to the main home. The applicant has provided that the main home is 32-feet tall from the front elevation facing Burleson Street. The renderings show the proposed structure to be a total of 21-feet tall from grade to roof.</i></b></p>
<p><b><i>See Attached Historic District Design Guidelines (if necessary)</i></b>  <b><i>See Secretary of the Interior Standards Analysis Below</i></b></p>			<p>The Historic Preservation Commission may use as general guidelines, in addition to the specific guidelines contained in this section, the Historic District Guidelines located in Appendix C of the San Marcos Design Manual, and the current Standards for Historic Preservation Projects issued by the United States Secretary of the Interior.</p> <p><b><i>See attached Sections C.1.2.4, C.3.2.5, and C.3.2.6, Historic District Design Guidelines, Appendix C, San Marcos Design Manual</i></b></p>

# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)



Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships. <b><i>The property will continue to be used as a single-family home.</i></b>
<u>X</u>			2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. <b><i>The proposed garage will be located behind the front façade of the main home, towards the rear of the property, retaining the spatial relationship of the property. The renderings show the new structure is 135-feet from Burleson Street and the main home is located 113-feet, seven-inches away from Burleson Street.</i></b>
<u>X</u>			3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken. <b><i>The proposed structure is not a conjectural feature.</i></b>
		<u>N/A</u>	4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
		<u>N/A</u>	5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
		<u>N/A</u>	6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
		<u>N/A</u>	7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
		<u>N/A</u>	8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.








# Certificate of Appropriateness

## HPC-23-06 (804 Burleson Street)

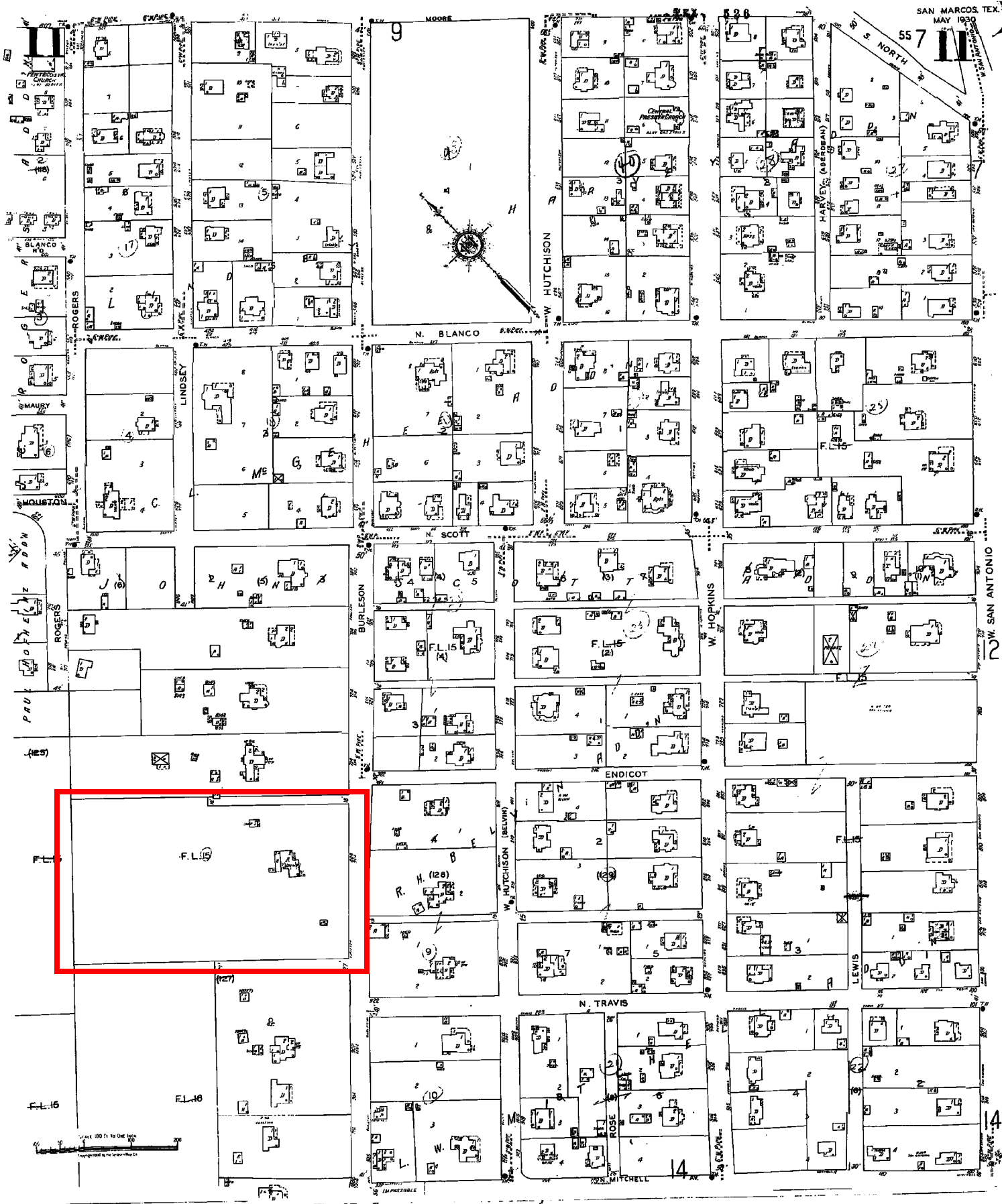


Staff Evaluation			Secretary of the Interior Standards for Rehabilitation
Consistent	Inconsistent	Neutral	
<u>X</u>			<p>9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</p> <p><b><i>The applicant is proposing to utilize stucco for most of the exterior material for the proposed structure. The renderings show natural stone accents for the front façade of the first floor, or garage portion. Red metal roofing will be used for the awning located along the front facade, compatible with the red roof of the main home.</i></b></p>
		<u>X</u>	<p>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</p> <p><b><i>While the proposed building could be removed in the future without impairing the integrity of the main home, the excavation of the property could potentially impair the essential form the site.</i></b></p>

Local Id# / Image	Address	Current Name/ Historic Name	Current Function/ Historic Function	Stylistic Influence/ Historical Context	Construction Date	Existing Designation	Eligibility	Priority
R27369 	804 BURLESON ST SAN MARCOS	Zimmerman Home	Domestic	Vernacular; Art Deco/Mediterranean (influences) Architecture, Community Development	1932	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: No In District?: Yes Contributing	Medium
Burleson Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27357b 	826 BURLESON ST SAN MARCOS		Domestic	Minimal Traditional	ca. 1945	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input type="checkbox"/> Contributing	Individually: No In District?: Yes Non-contributing	Low
Burleson Street Local Historic District								
R27357a 	828 BURLESON ST SAN MARCOS	Kasch Corner	Domestic	Ranch Style	ca. 1950	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								
R70902 	902 BURLESON ST SAN MARCOS	Kasch House	Domestic	Queen Anne Architecture, Community Development	1890-94	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District	Individually: Yes In District?: Yes Contributing	High
Burleson Street Local Historic District						<input checked="" type="checkbox"/> Contributing		
R27392 	904 BURLESON ST SAN MARCOS		Domestic	Colonial Revival	ca. 1935	<input type="checkbox"/> NR <input type="checkbox"/> RTHL <input type="checkbox"/> OTHM <input type="checkbox"/> HTC <input type="checkbox"/> SAL <input checked="" type="checkbox"/> Local <input type="checkbox"/> In District <input checked="" type="checkbox"/> Contributing	Individually: No In District?: Yes Contributing	Medium
Burleson Street Local Historic District								

557

S. NORTH







ARCHITECTS

## CUSTOM PLANS

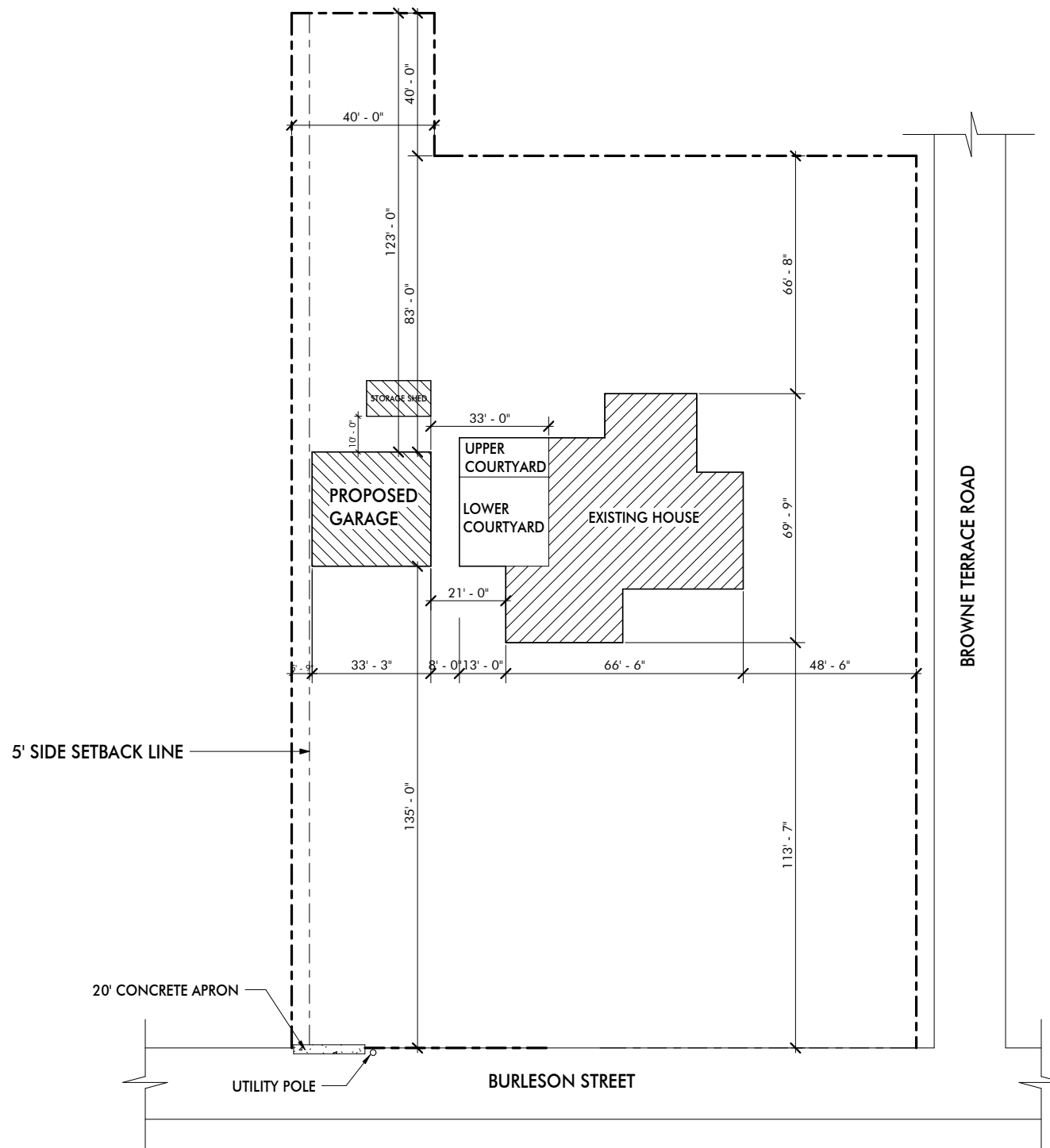
No.	Description	Date

## SITE PLAN-MAIN HOME-ADU

Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

# A112

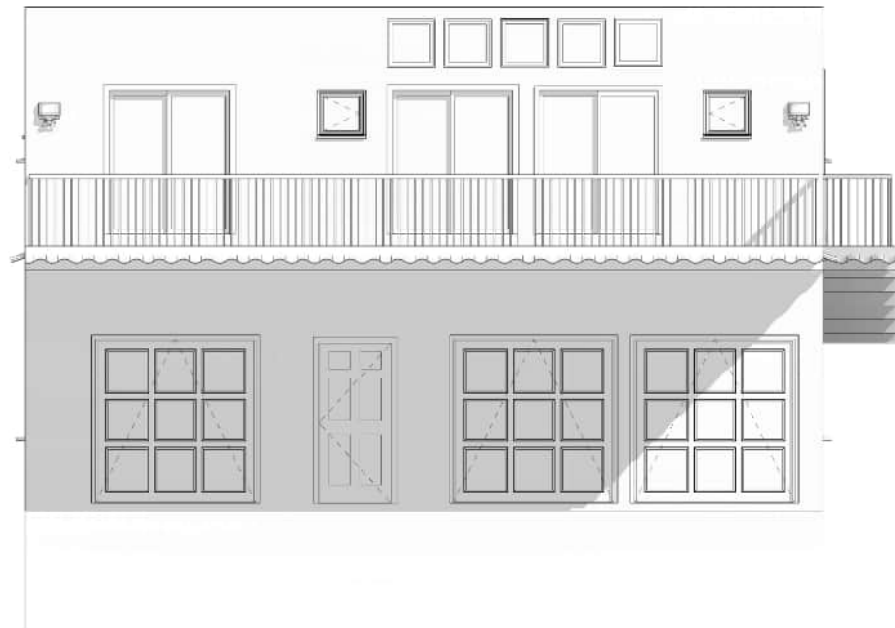
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① SITE PLAN SHOWING MAIN HOME & ADU  
3/64" = 1'-0"



# KRISTY NEW GARAGE DRAWINGS







ARCHITECTS

## CUSTOM PLANS

No.	Description	Date

## FRONT & LEFT ELEVATIONS

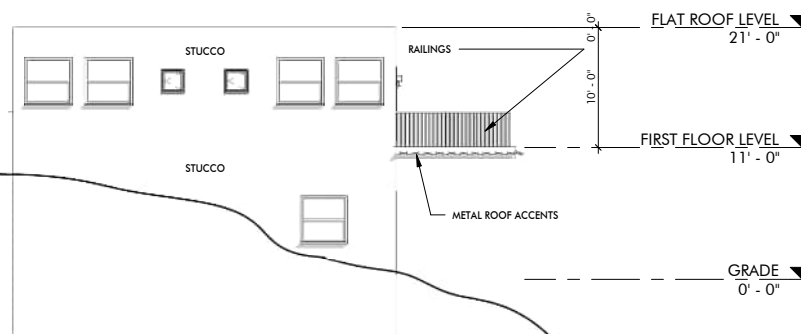
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Checked by	STEPHEN

# A109

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① FRONT ELEVATION  
1/8" = 1'-0"



② LEFT ELEVATION  
1/8" = 1'-0"



ARCHITECTS

## CUSTOM PLANS

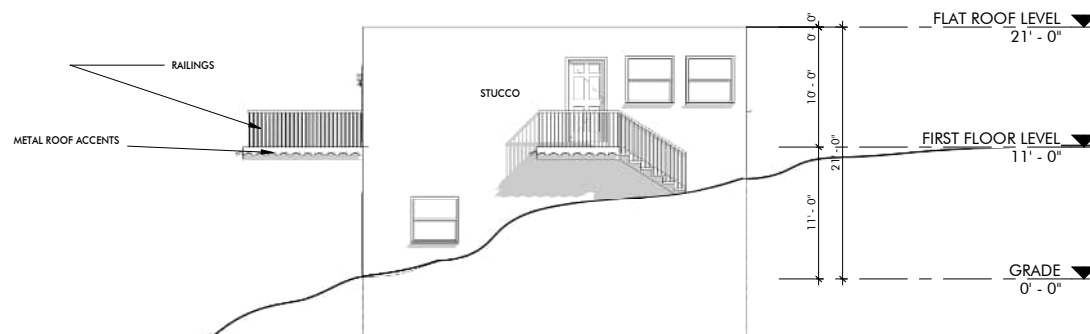
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## RIGHT & REAR ELEVATIONS

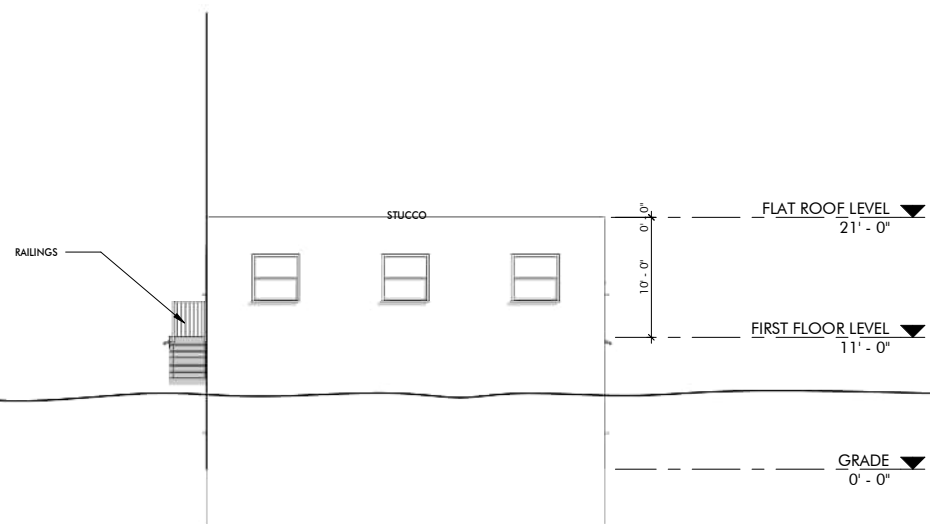
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Checked by	STEPHEN

# A110

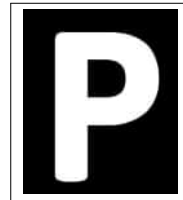
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① RIGHT ELEVATION  
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② REAR ELEVATION  
1/8" = 1'-0"



ARCHITECTS

## CUSTOM PLANS

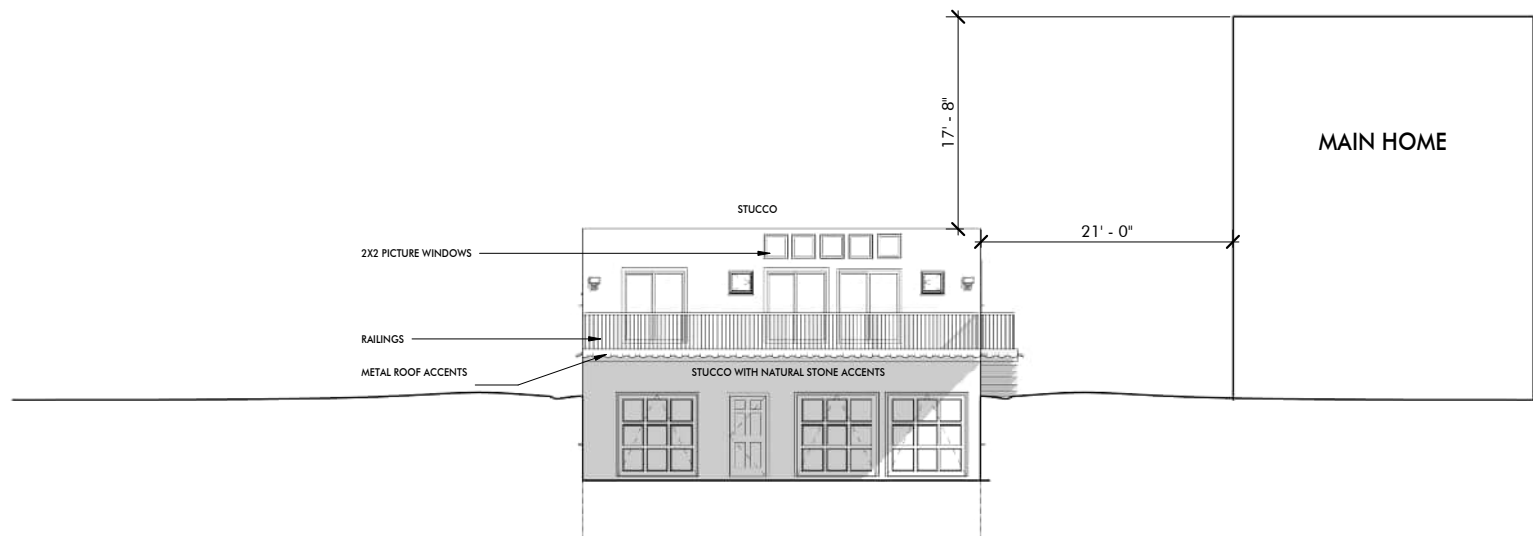
No.	Description	Date

## ELEVATIONS W/ MAIN HOME

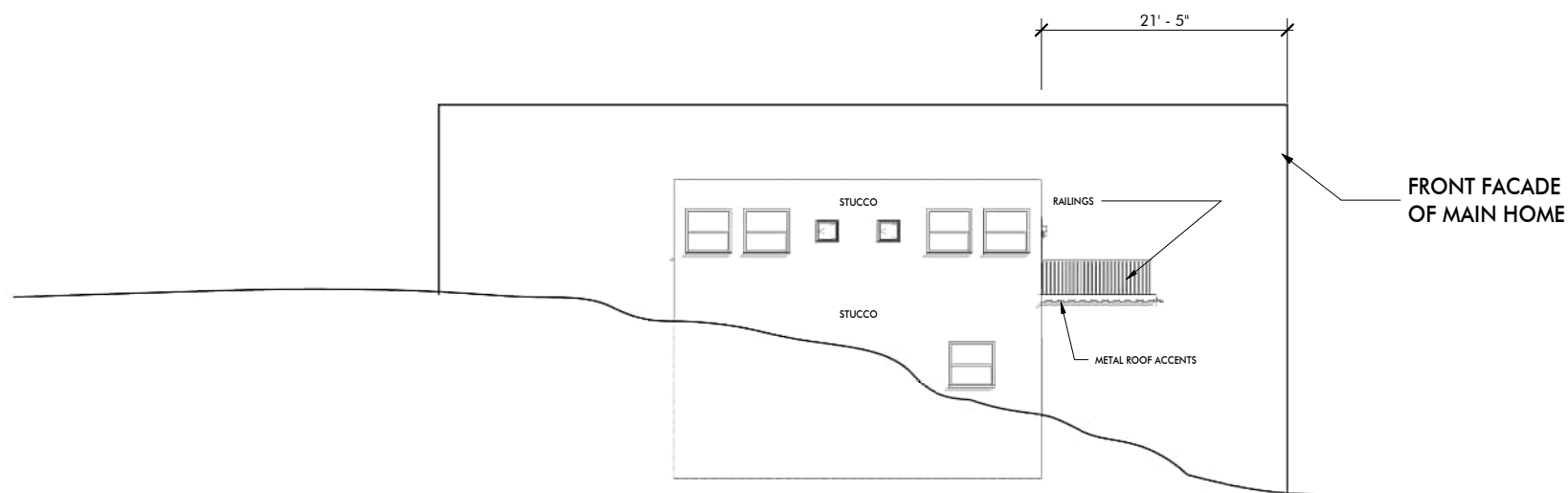
Project number	001
Date	SEPTEMBER, 2022
Drawn by	STEPHEN
Checked by	STEPHEN

# A114

Scale	1/8" = 1'-0"
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① FRONT ELEVATION W/ MAIN HOME  
1/8" = 1'-0"



② LEFT ELEVATION W/ MAIN HOME  
1/8" = 1'-0"



**804 Burleson St, San Marcos TX**

**1000sq ft Living Area/Three Car Garage and Driveway**

**Certificate of Appropriateness**

**Photos and Material Descriptions**

*January Revisions post-HPC feedback are in **yellow**, additional visuals requested by members in appendix*



*Existing conditions ( front of house, **32 ft tall** not including chimney)--3 other elevations in appendix). **32** because previous number was an estimate, but 32 is the accurate number after measured with a clinometer).*

1. Detailed description of all proposed activities to be undertaken:  
First, foundation contractor will construct driveway. Then, he will construct slab foundation. Then we will build detached 3-car garage (garage on 1st floor, living area on second)

*Close-up photo of decorative balcony guardrail:*



*Area of Alteration Photos:*

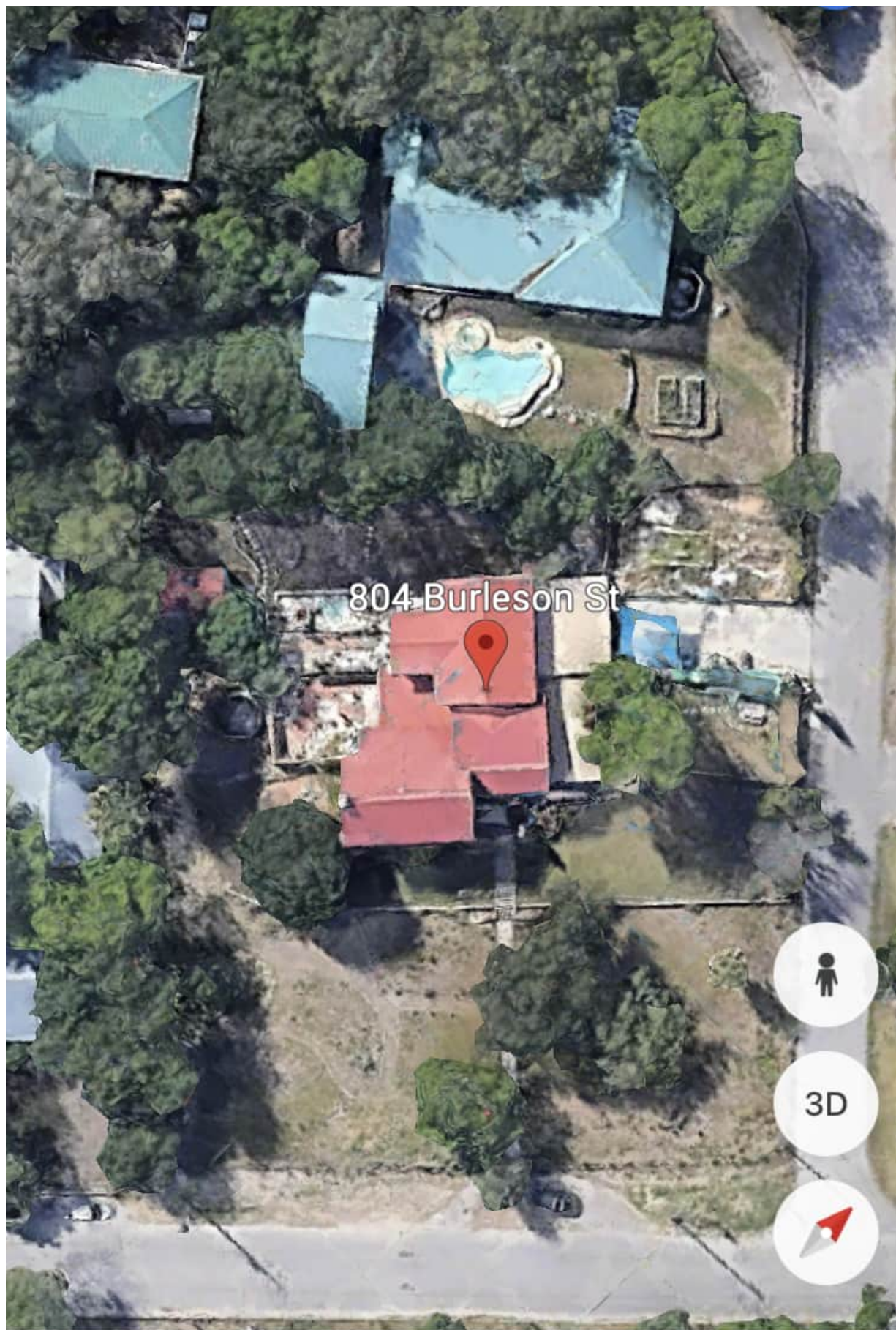
*(there's an XL trampoline in that area now, pictured, will be removed):*











✕ 804 Burleson St Building



## 2. Existing Building Materials:

Natural stone

Stucco

Black metal guardrails on stairs (Italianate style)

Gravel in courtyards and neighbors' driveways utilize gravel

Red metal roof, and terra cotta roof tile accents on balcony with black, decorative guardrail

Large picture windows made of glass and steel

## 3. Existing Site Plan

*(see proposed site plan on page 21, architect says it's the same site plan, simply without the new garage and driveway)*

## 4. Existing building elevation:

32 ft tall from front elevation facing Burleson St., what can be seen from road (and 3 car garage w/living space will be 20 ft tall. Roof patio/parapet has been deleted)

## 5. Description of proposed building material details, specifications:

Primarily stucco with natural stone along edges and borders of windows, stone of complementary (but not exact same) color to existing house, large windows that will double-function as sliding doors (see pics/specifications below) for environmentally-friendly design, as opposed to current picture windows on existing house that cannot be opened. We will harness hilltop winds to cool the interior down naturally.

Exterior Wall Sconces:





 View In Your Space



 Chat Now

- Cast aluminum construction
- Black finish with seedy glass
- Suitable in wet location

Fixture Height (Inches) >  
8.78

Fixture Width (Inches) >  
7.55

Garage Doors



Menu

Search



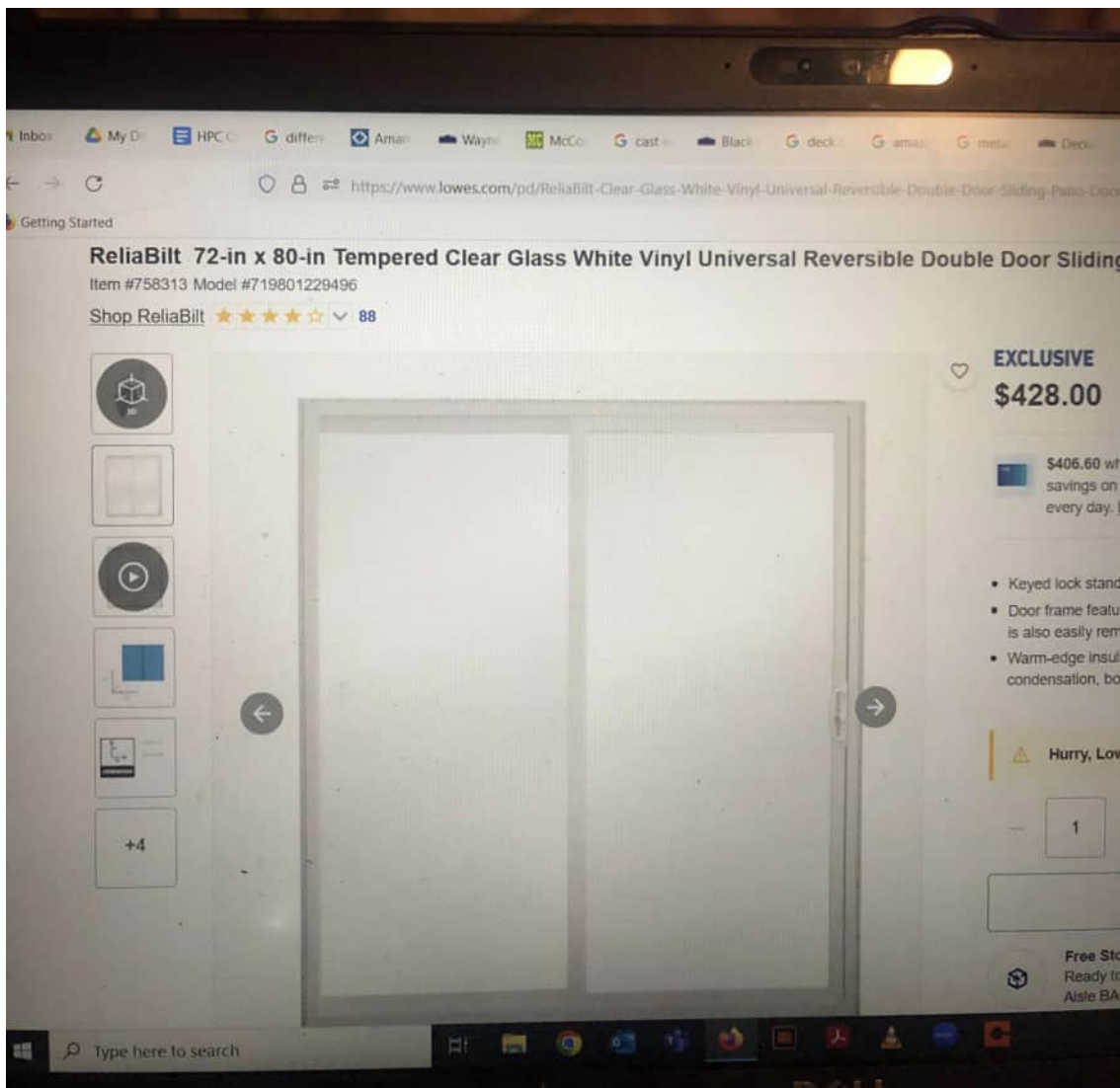
All Departments > Home > Home Improvement >

## Amarr Hillcrest 1000 Sandtone Panel Garage Door (Multiple Options)

Item # 496861 | ★★★★★ 4.0 (2)



Front picture windows alternative (sliding doors): will be able to open/close and better for air quality/heating cooling bill/safety, did not exist when home built. Current picture windows are 108 inches by 72 inches, sliding doors will be 80 by 72 inches. They line up in a group of 3 on original house and will be for ADU too. **Current house is much taller and wider than is possible by ADU size/height restrictions, so proportionally the ADU windows will complement, because they will not be exactly the same size of, the largeness/distinction the windows serve on the front facade of original house. The 1932 house had a modern/Med-Deco design for its day and we want to complement that theme with the windows. Terra cotta tiles will not be used to copy the original house, but instead we will use red metal roofing material for the awnings.**







Front and side door.

JELD-WEN 32-in x 80-in Steel Universal  
Reversible Primed Slab Single Front Door Solid  
Core

Item #782756 Model #JW233200005

Shop JELD-WEN  57

**\$188.00**



**\$178.60** when you choose 5% savings on  
eligible purchases every day. [Learn how](#)



Decorative scrollwork that will be welded onto black guardrail posts of code-compliant stairs of ADU's back exit and front porch to complement existing balcony guardrail (the "heart" shape will not be split into two halves, to differentiate the new structure from the original structure that has "s" shape of the scrolls instead of a double "heart")

[/ Deck Accents](#)

## Gilpin Black Metal Deck Rail Centerpiece

Item #5266905 Model #571

**\$21.61**

**\$20.53** when you choose 5% savings on eligible purchases every day. [Learn how](#)

**Newel Posts**

Ballusters (rails/corner posts will be white in italiante style, and different from the square corner posts on existing balcony (3 inch by 3 inch square posts, see pic), because they will be rounded.



Brand: Generic

★★★★★ 270

29.5 in. x 1 in. x .1875 in. Black Aluminum Silhouette  
Balusters (60 pack), Wood and Composite Deck Railing  
Compatible, Semigloss Finish, Wrought Iron Look



Item Package Quantity: **60**

Accurate annotated Site Plan:

(see attachment to this email)

## APPENDIX

Original 1932 home: note **flat** roof, italiante balcony, and gravel driveway



3 other elevations of original house. Elevation facing Browne Terrace shows stucco and the new addition which is also stucco. It will not be difficult to distinguish the original house from garage/ADU because the garage, in addition to being significantly shorter and thinner, will be constructed of the materials we used for the addition, which is clearly not trying to copy the original front facade of the house. The original hand-hewn stone facade will remain to distinguish and highlight building materials and methods used in 1932. The new stucco with stone accents (pictured below) look clearly modern and are used on many modern houses, and would have been too cumbersome for 1932.



Elevation facing new garage. Stucco





Elevation facing Browne Terrace. 2019 Addition on left with the 3 windows, designed by Greg Standard, architect and former HPC commissioner. Stucco/stone combo



Rear elevation, showing addition on top of original stone. stone/stucco combo

**More additions to checklist/application after 1/5/23 HPC Commission feedback (all new):**

More pictures and drawings were requested to show what excavation would take place for the slab foundation. Entrances, exits, and stairs were also requested to be drawn. See pics.

One commissioner worried about cars exiting from a new driveway on Burleson St. being t-boned from Burleson traffic coming down the hill. However, having a Burleson St driveway is actually a safer option than Browne Terrace, and why we are excited to build it, because our property from the front elevation actually extends far beyond the fence, so as we are coming out of the driveway we have a good 12-15 feet to continue to coast along our flat, driveable property to stop and wait to make sure no cars are coming, and join the right of way with a very clear view of what's coming down the road from both directions. It's what we already do when we need to drop off courtyard building materials like heavy stones, gravel, etc at the top of the hill, and it's a lot easier and safer than Browne Terrace. In fact, many neighbors, including Donny Bagley's wife, have voiced concerns to us about how our Browne Terrace driveway does not have good driver sight and a car could easily hit us backing out and cause an accident that could send cars careening into their house. A Burleson St driveway fixes that. Also, for the record, of the 13 cars Mr. Bagley, the Claytons, and others on Browne Terrace complained about, it's likely 5 of them weren't ours but are from the rental cottages next door to us. We notice that more cars park there when the 3 cottages have weekend/overnight visitors or parties (they're all college students), they are technically parking on our property, not on the street, just as our airbnb guests park on our property, not the street (again, see pic of gravel and horseshoe in front of our fence, which is still very much our property). The 3 cottages guests also leave after the weekend. Furthermore, ZERO cars, of ours, our friends, or any guests we have are ever parked on Browne Terrace anymore. These neighbors told us they didn't want us to, so we don't. Their cars, when they have visitors, are often street-parked on Browne Terrace, but never us. So I was saddened by their characterizations in their letters about parking issues, even though, again, not HPC-related.

Mr. Perkins made it clear in his reading of the standards that it is recommended that altering non-significant interior spaces be considered first, and that if the family's needs can't be met by altering existing interior space, another building can be built. We have considered all options to accomplish our goals of needing more room and a large garage to securely store our vehicles and keep them out of extreme freezes like the 2021 snowstorm. The carport can barely hold 2 vehicles, really only 1 car unless the kids squeeze in between cars and don't open their doors all the way. A homeowner should be able to open their doors fully to fit 2 cars in. We can't, believe me we've tried. Also, another way that the original home will be clearly distinguished from the smaller ADU is that we have a long, stately, original concrete walkway from Burleson St. that leads all the way up to the front of our home. That helps make it clear that's the home, and that's how visitors always enter. The rock columns we built in 2019 and lamppost on either side of the walkway also help make it clear where the main home is. There will be no visible walkways to the garage/adu.

Furthermore, we have thought over and over about how to accommodate our parents into our existing house while still creating the privacy and independence they (and we) would want. We can't, we've considered every possible scenario with the current footprint. Our family's needs are unique. Independence would become less and less as our parents need our 24/7 care. Since we just have one big kitchen in the center of the house, there's really no way to do that long-term in the beginning. An ADU would truly be the best way to accomplish our family's needs. Our plan is to start them off in the ADU while they can still walk up stairs without too much difficulty, and then, as that gets harder, they will likely move into the middle of the house that already has the kitchen, an accessible bathroom/shower, a big bedroom, little bedroom, and family room that was formerly the sunroom (see floorplan attached). It has no exterior stairs than the ADU would have, and no interior stairs, all those rooms are on one floor. They could get out of their car, get in, go outside, come back in, all without a

single stair. Frank Zimmerman Jr. told us that his mom only used those same rooms in the house during her last days, because she couldn't do stairs anymore. She died in that bedroom, that currently has a sliding glass door so they can exit without stairs to the lower courtyard, and also without stairs to the proposed driveway/garage. It's all flat, on the same "level" (our house, when we bought it, had 4 levels).

At that point, when our parents can no longer climb stairs and move into the original house, we will be sharing the kitchen with them as we'll likely be cooking their meals, and will be living in rooms in both the front and in back of them in the original house, and we imagine by that time some of our kids will spread out into the ADU and use it so they can still have their own bedrooms that our parents will be using, but also have more independence.

To the recommendation that there be balance between differentiation and compatibility. We understand that if the addition is identical it's not compatible. And that it needs to be subordinate. We have revised our plans so that it is a full 10 ft shorter than the original house, it is 40 ft behind the original structure so it is definitely subordinate in that way in how far set back it is, much further than the original. And we have the shed in a similar position as the proposed garage to demonstrate how the setback clearly matters in terms of a viewer from Burleson St. They'll be able to tell the main house apart from the smaller, and set back ADU, easily. Yes the shed is smaller, but the difference is negligible since the long, 18 ft side faces Burleson and that long side is helpful to see for scale because yes the garage will be 32 ft long not 18, but the existing house is 3 times longer (from Burleson St. View) than the garage will be. With the side porch covered by attached shed roof included, **the house is 77.5 Feet long!!!!** (see original floorplans). Almost 4 times wider than the ADU from Browne Terrace. It's 4500 sq ft, it's a beast, with no garage doors to indicate any of the home is anything but living space. I'd argue it's out of place for a mansion that size not to have an unattached large garage. The ADU will be 1000 sq ft, and will clearly be resting on the garage commensurate the original house's needs. Very similar to other ADU/garage combination separate structures in the historic district (see pics).

To the recommendation that any new structure be constructed in a way to minimize impact on the historic district, we will plant native oak trees in front of the garage near Burleson St. to minimize the impact.

Mr. Perkins mentioned the new structure is recommended to be compatible with size and scale of the original historic building and surrounding historic buildings. The proposed structure is compatible in size to other ADU/garage combos on Burleson/Belvin streets, and since it is smaller and not identical to the existing structure we believe our revisions make it compatible with our original home.

Mr. Perkins mentioned it is not recommended any changes be made to the grade level. We won't be doing that. Instead, we are only excavating to build the foundation, into the side of our existing hill. If you drive up Kasch Street where the 3 rental cottages Carl Deal used to own were built, you can see how the cottages are similarly built into the hill the way we will do with the garage/adu. Which will make it fairly easy for anyone to exit from the back door of the ADU onto the hill with very few steps. See attached pics of the cottages from the street demonstrating this.

Mr. Perkins read aloud how new additions are recommended where the historic structure is completely missing what the new construction would provide. In our case, that's a garage. We don't have one. We need one that can fit 3 cars so they won't be broken into in a carport (there have been many car breakins on our street), and so that they won't be exposed to the extreme ice/heat we have. We will have 6 drivers (our children) before long, they'll want to invite their friends over after school, and when high schoolers are driving there are parking needs we'll need, especially if our parents will still want to and be able to be driving.



In terms of voids to solids, we are welcoming feedback from Mr. Perkins and the committee on where they would like windows/doors/more voids on the proposed structure. We have amended the combined garage door to be 3 separate individual garage doors.

For (e) rhythm to spacing on the streets, please see attached pictures of similar properties to our proposal on our street and adjacent streets in the historic district.

For rhythm of entrance and front porch projections, the awning will double as a front porch to the ADU, and is compatible with the size of our front porch facing Burleson St. There will be no porch or concrete slab in front of the garage, just the one. We have deleted the patio/parapet on top of the structure, so that makes it smaller and there's no porch for people to stand on there anymore.

Mr. Perkins suggested we use the carport for our parking needs, or alter it so that we don't need a detached garage. We have 5 children, that's 5 more drivers, and in-laws. As I hope the above explains, the carport simply can't accommodate our large family's needs, not even if we enclosed it because it is too small.

Mr. Perkins was clear, and we appreciate how he said that no one is against an accessory dwelling unit per se, as long as design is implemented in a way that is compatible and contributes to that building, other buildings, and the historic district. We're happy to make the changes necessary to accomplish that. Along those lines, we'd welcome HPC's feedback on what IS a historically appropriate driveway, and we'll do that. We based our driveway plans based on explicit feedback and instructions from the city's historical preservation staff, but we are open to hearing what Mr. Perkins has in mind.

Appendix item 1: First and Second Floor floorplans of original home from 2017, please note appraiser was incorrect in labeling back area as garage - it was not a garage, it was too small to fit 2 cars even if we wanted to use it as one, but regardless it was Zimmerman's movie theater office, and the home's cellar. We found a safe under the linoleum when we gutted it where he put the money his theater managers delivered to him. His son Frank Jr. helped us find it and explained it to us when we found him on ancestry.com and invited him over. It is now our movie/rec/gaming room.

On the claim that a driveway off Burleson wouldn't be historic because Heritage corner lots don't:

- # of estates that are similar enough to ours in terms of size and being that far setback from the road: 12
- Of, A., # of estates that have their driveway off the front street: 9
- OF A. # of estates that are corner lots: 4

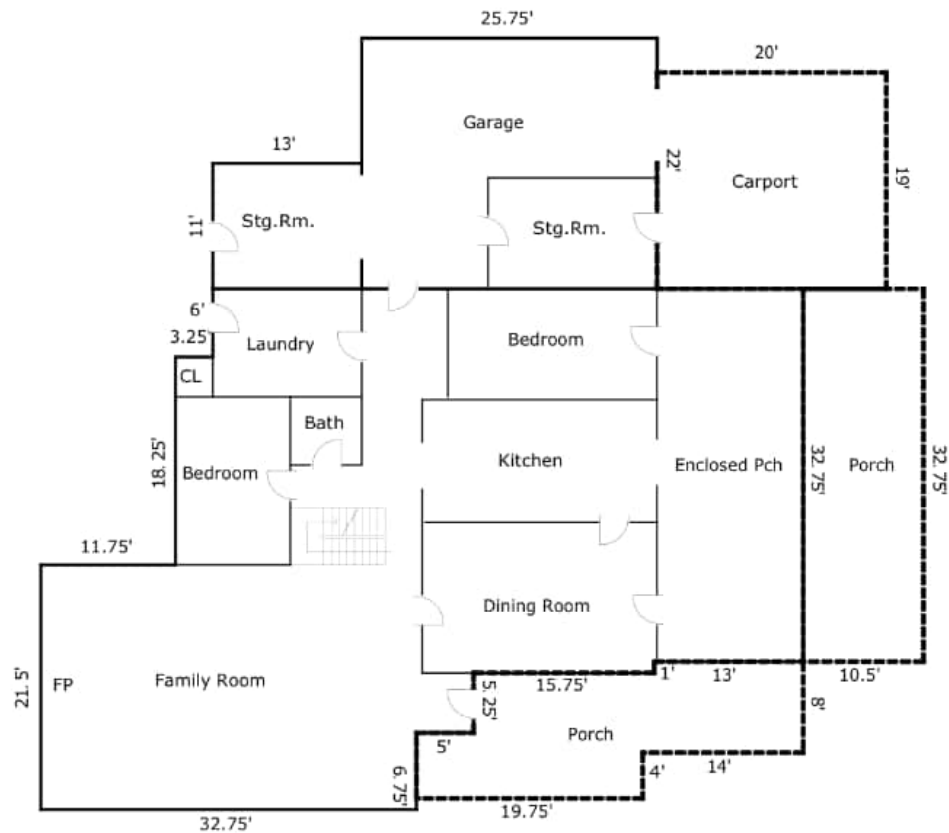
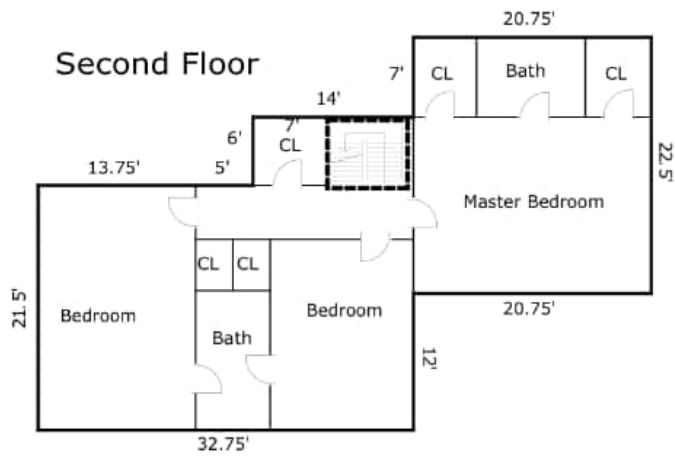
While I understand Mr. Perkin's hypothesis that most of those corner lots have their driveways on the side streets, that's not entirely true. Only 3 of those 4 ostensibly have their driveways on side streets. HOWEVER, in 2 of those 4 cases, the two side streets (Quarry St. and Kasch St.) originally WERE the driveways of those estates. The Sanborn maps confirm this. They only became actual streets when the estate was divided and lots added that needed road access. In both those cases, those lots range from 3-7, so: not a lot of traffic, and those 2 roads still retain the use and look of a driveway for those estates. To strengthen my case, so was Browne Terrace, it was not a street when the Browne Estate Mansion stood there, and when Zimmerman built in 1932: It was the lot's driveway! It's only when the Browne's subdivided, and the Victorian next to the Bagley's subdivided to create the Bagley and Prather homes, that it became a street, that went up to connect to Alto and those houses up there, and new houses built with further subdividing. Now, Browne Terrace is a pretty busy street, used frequently to get to Crockett Elementary and the many homes built in the 1970s-1980s built up there. That's why it's a hazard for us to pull in and out of that driveway given the blind hill, and why neighbors like the Connie Bagley would prefer we had a driveway off Burleson St. to lessen the chances of an accident on Browne, because Browne is the only driveway Mrs. Bagley has.

I would ask Mr. Perkins if he was thinking of 702 Burleson when making his claim about corner lots. Yes, it's driveway is off the side street, and I did include it among the 4 lots above in fairness, HOWEVER it is smaller than our estate, it is not set as far back from Burleson as ours, and as such they do have a large half-moon driveway of decomposed granite that provides access from Burleson St to their front door without having to go up a huge hill and MUCH longer walkway that our house has. Doing something similar to 702 off of Burleson St. would be impractical and unsightly: our house is just too far set back.

So, If 702 isn't included in the numbers, that's 11 estates similar to ours, still 9 that have their driveway off the front street. 3 of those would be corner lots similar to ours, one of which does have a both a front and side driveway. The other 2, like I mentioned, their side streets are Quarry and Kasch, which originally **were** the front driveways and still operate as such given the very few lots on that street. Only our side street, Browne, is the one which also was originally the front driveway but then turned into a street which later connected to major streets and has become more dangerous than our own driveway off Burleson would be.

Finally I'd like to note that 3 is a pretty small sample size, statistically speaking, to accept/reject a driveway proposal on, especially given the historical data we have on how those streets were front driveways like ours.

## Second Floor



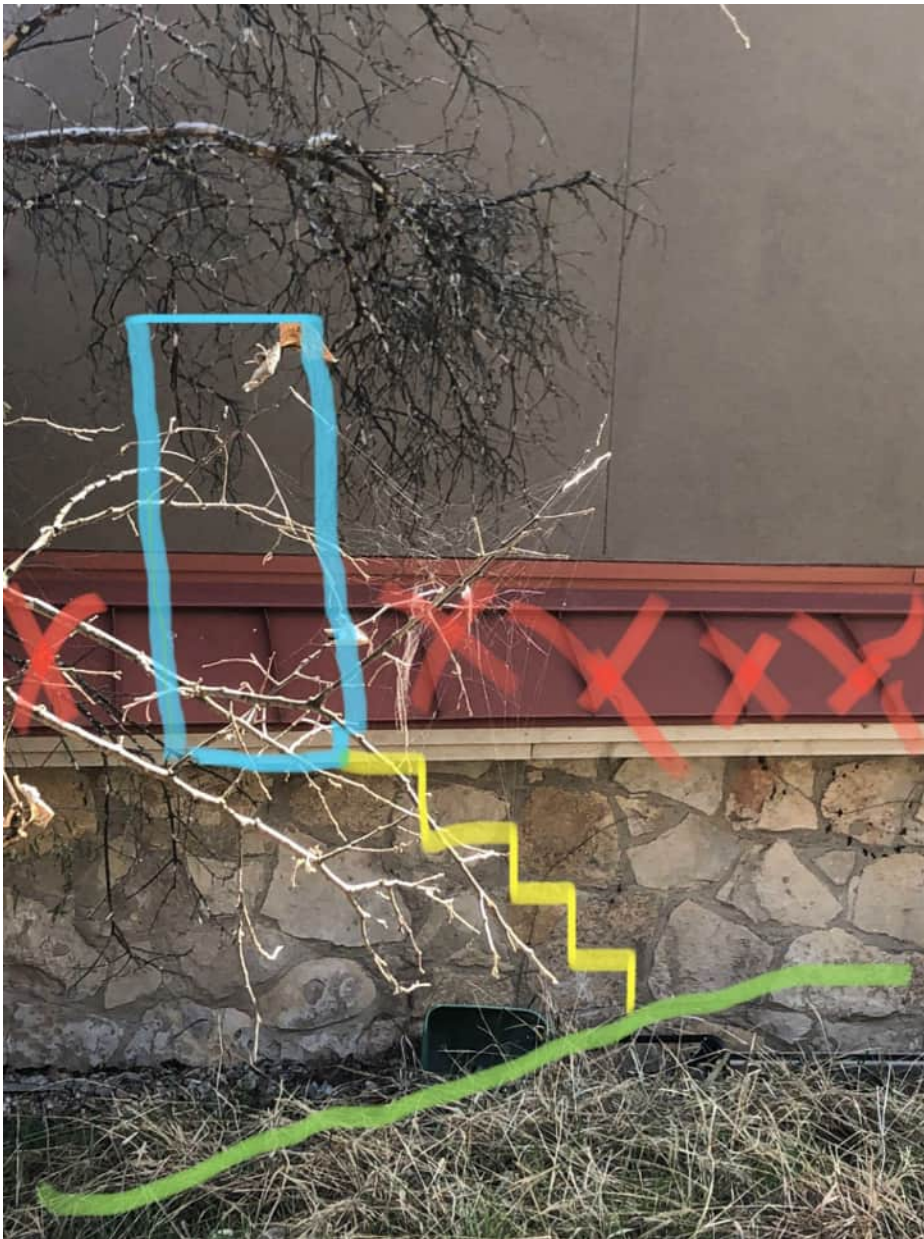
## Area Calculations Summary

2346.19 Sq ft  
 -42 Sq ft  
 1255 Sq ft





To visualize how far underground the garage will be, and how close the back door of the ADU will be to the ground below (undisturbed hill). Right now the old cellar is about 6 ft underground. Same hill as ADU will be built, same inclines. Like Zimmerman, we will be excavating into the hill to pour the foundation for the proposed structure.

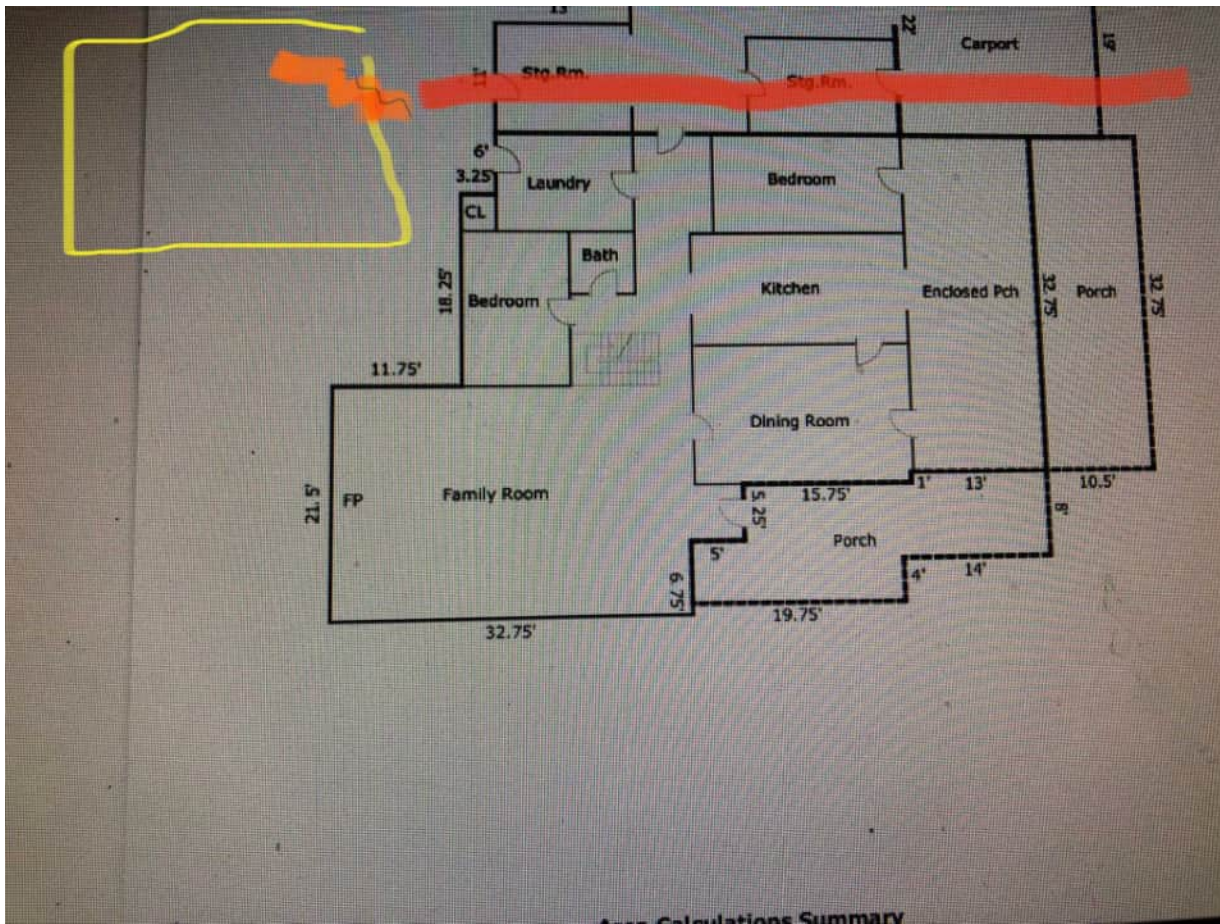


This is the back of our current house, to visualize close-up and in pictorial form what the back door of the ADU would look like (the Right elevation in plans). There won't be that little red roof, and the green is the incline from that part of the hill (right elevation). As you can see, the garage will be underground, blue represents the ADU's back door, and as you can see the stairs will be short given how far below grade the garage will be at that spot.

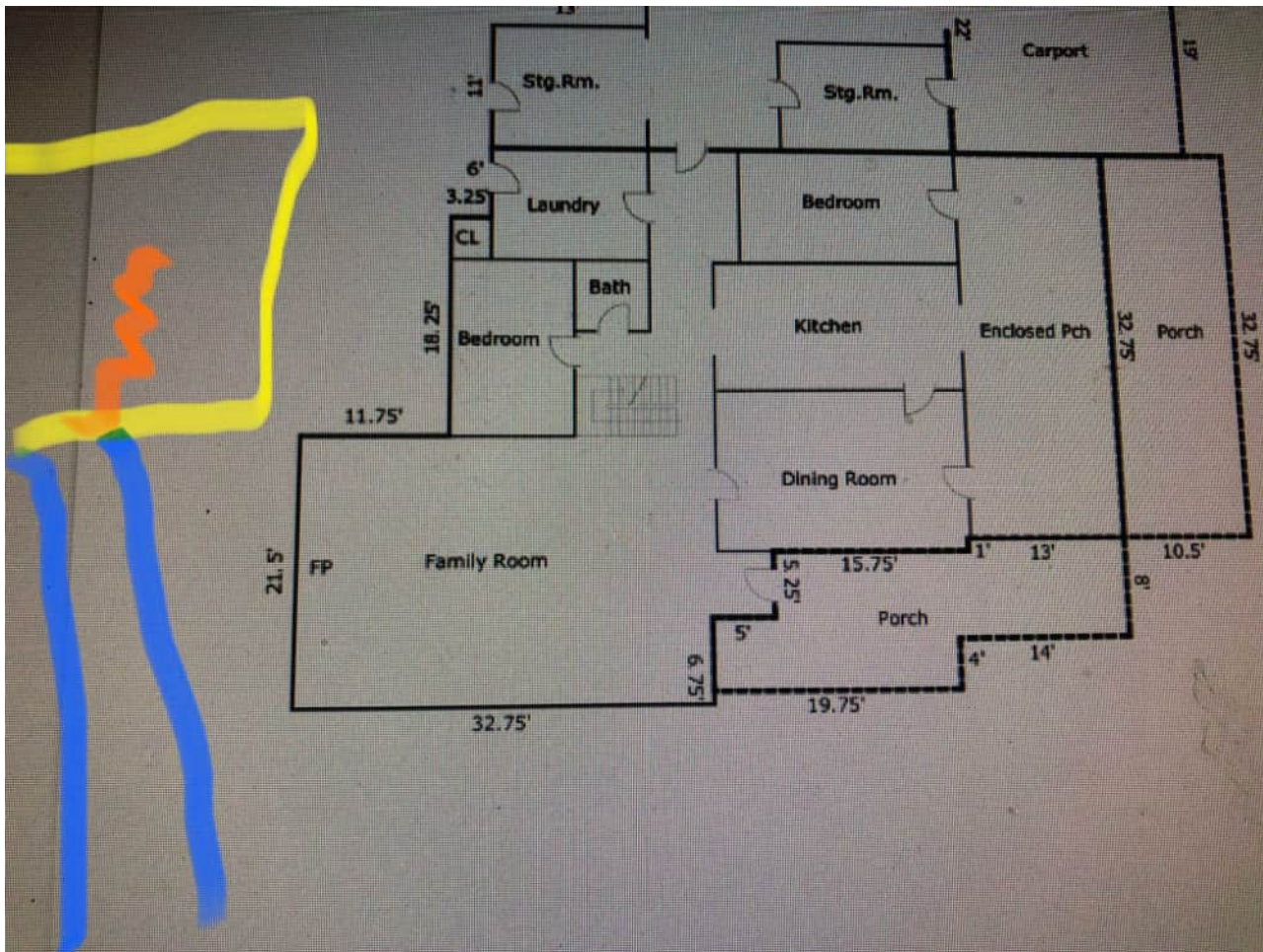


Tall corner with chimney is the right corner of our home, and lower courtyard pictured. Rock wall that connects from corner of living room to enclose lower courtyard, and from Burleson St looks part of original home and lends the look of an even larger length than the home's footprint (77.5 ft).



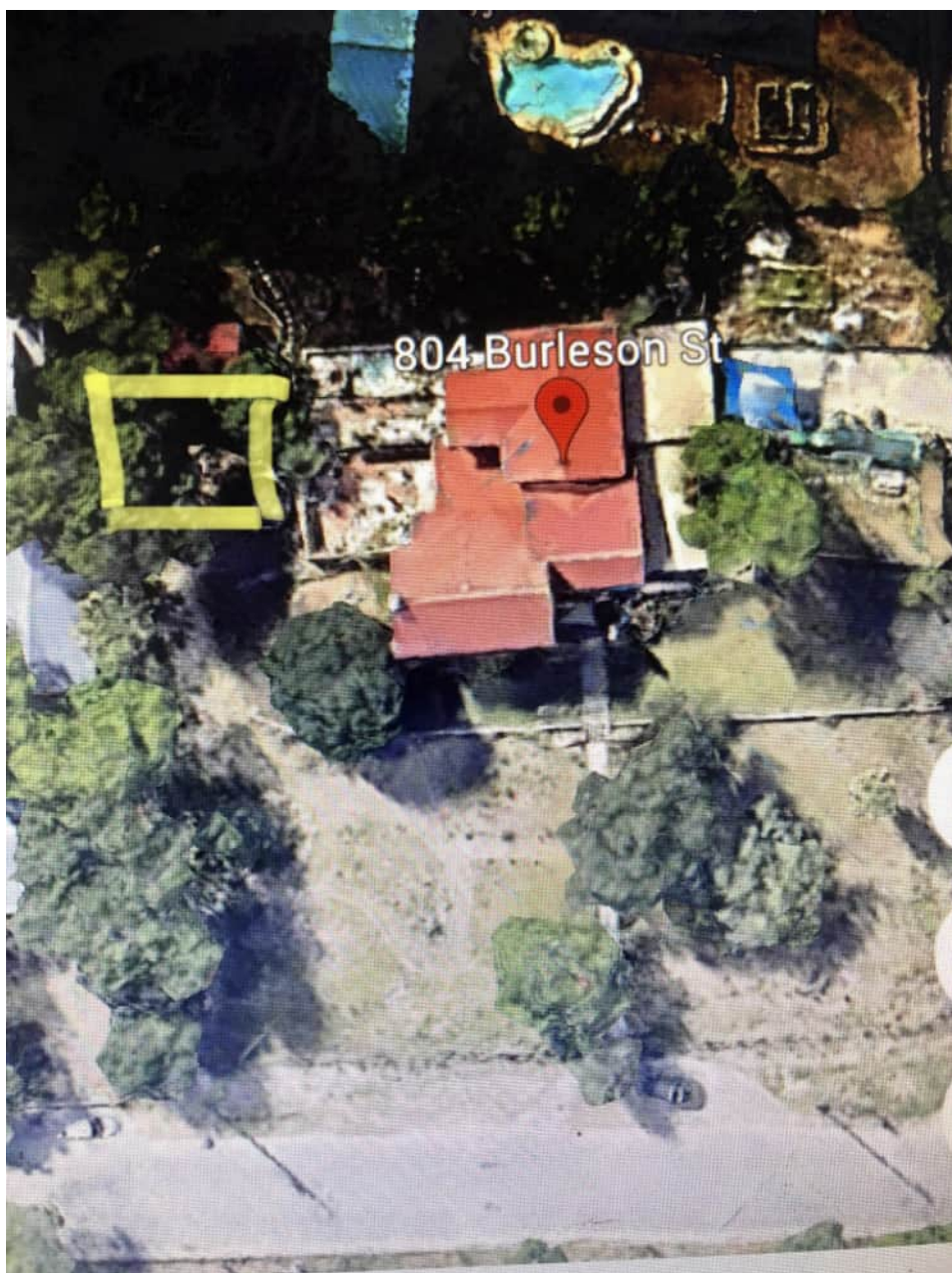


As requested, different entrance/exits of the ADU, incorporating the original house. Utilizing Browne Terrace Driveway, the red line represents the main way people would enter the ADU from the back of the property. On the red line, there are no stairs, the only stairs are what are proposed to the ADU, in orange (ADU is yellow), and it would be a short exterior stairway.



As requested, different entrance/exits of the ADU, incorporating the original house. Utilizing proposed new driveway from Burleson St. Blue line represents where the driveway would be. We'd park in the garage, and take the interior stairs (orange) up to the ADU. When the time comes, and if necessary, we'll likely install an electric stairlift for those interior stairs to get up to the ADU.





As requested, a more specific visual of what the ADU would look like. I can't see how anyone, given the sheer massiveness of the house, could mistake the garage/ADU for the main home. It is set back significantly, it is half length of the main home's footprint. Even though that roof on the right side isn't red, it's still living space. And a giant pecan tree is covering the attached shed roof shading the side porch that is attached to the former sunroom (now a living room).



**Section C.1.2.3 Residential Buildings**

- A.** Porches are frequently the most modified portion of a house. Returning a porch to its original design, when possible, will make a positive visual impact to the house and the neighborhood.
- B.** If a porch has been lowered, consider raising it to its original level.
- C.** If the original columns have been replaced with another material and design, consider replacing the columns with columns which are compatible with the original design and material.
- D.** If porches have been closed to provide additional space in the house, look for other locations for this space when remodeling.
- E.** If porches have been removed, consider reconstructing them.
- F.** Synthetic siding which has been applied over the original siding changes the character of the house. Consider removing the synthetic siding and restoring the original detail of the house.
- G.** When windows have been removed and placed with windows of a different material and proportion, consider replacing them with windows to match the original.

**Section C.1.2.4 New Construction in Historic Districts**

- 1.** As opportunities arise, new construction will take place in historic districts and this is to be encouraged in order to maintain a viable living community. However, new construction should follow the characteristics and guidelines outlined in this document.
- 2.** Respect and maintain the overall height of buildings in the immediate vicinity.
- 3.** Maintain the building relationship to the street. Set the new building back a distance equal to that of the surrounding structures and orient the new building in the same way.
- 4.** Maintain the established rhythm of the structural piers in the surrounding buildings, consider a similar rhythm, structural bay or width.
- 5.** Respect the overall proportion and form. Maintain the width to height relationship.

- 6.** Utilize floor heights common to adjacent buildings. Maintain the horizontal continuity of the elevations in commercial buildings.
- 7.** Roof forms and roof lines or cornices should be consistent in shape and detail.
- 8.** Maintain the solid-to-void pattern established in the window openings and follow the proportions established in these openings.
- 9.** Materials used in the construction of new buildings should reflect the period in which they are built but should respect the established scale of adjacent buildings.
- 10.** Construct garages and carports to the rear of the property, behind the face of the house.
- 11.** Orient garage doors away from the street when possible.
- 12.** Consider the density of a neighborhood when constructing new buildings on vacant or subdivided lots.
- 13.** Maintain the orientation of building entrances on a street.
- 14.** Construct additions to existing buildings that do not overpower the original building.
- 15.** Seek guidance and assistance early in a project. Look at options that will enhance the historic district and satisfy your needs.
- 16.** Avoid creating a false history when constructing new buildings. New buildings are new buildings and should not be confused with historic structures.

**Section C.1.2.5 Priority Planning - Renovation Guidelines**

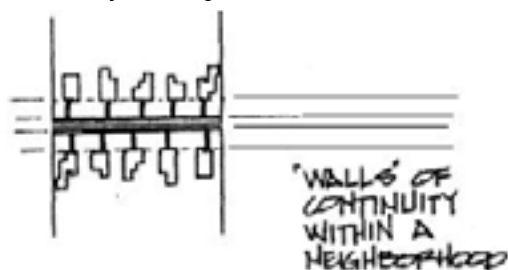
- A.** Evaluate the existing structure to establish the most important work to be completed.
- B.** What may be the most visible to the eye may not be the most important to the life of the building. For example, a new coat of paint for the front of the building will not do much to extend the life of the building if the roof is leaking badly.
- C.** Identify the “character defining” features of the building and relate their importance to the character of the street as well as the building itself.

inherent properties and dimensions of construction materials like brick and wood boards help in understanding the home's size, scale and proportion. Because stucco has no dimension, it is difficult to measure its relationship to the scale of a building. Tudor houses, for example are constructed mainly of brick and stone and because of the size and texture of these materials, the houses express mass with a rustic appearance.



CONTRASTING  
MATERIALS  
EMPHASIZE  
DETAIL

- F. Walls of Continuity.** The front of each building, its walls, its porch alignment and even fences help define a “wall” that establishes a visual pattern along the streetscape. Each neighborhood has visual continuity, starting at the street which is basically a straight line of uniform width. A curb runs along the street defining the green space of the parkway followed by the sidewalk. Each of these elements work to organize a neighborhood. These organizational elements along with orientation and placement of houses on the lot establish the visual continuity of a neighborhood.



“WALLS” OF  
CONTINUITY  
WITHIN A  
NEIGHBORHOOD

- G.** Due to the difference in lot size between the Belvin Street and San Antonio Street Districts, the visual continuity and rhythm are different. Each neighborhood has its own established organization which should be respected.
- H.** As changes are proposed to a site or house, review the lines of continuity and rhythm established in the neighborhood. Look at the scale, form and proportions of proposed changes. Will the proposed project retain and enhance the characteristics or will it create change?

### Section C.3.2.5 Site Development and Orientation

- A.** The organization pattern established in each Historic District guides the development and proposed alteration of each site. Historic neighborhoods were designed to be pedestrian friendly since walking was a major mode of transportation. Houses face the street with a logical, visible entrance and a sidewalk that leads from the street to this entrance. Sidewalks from the street to the front door help establish rhythm.
- B.** There is an established distance from the street to the house, which is called a setback. This setback reinforces the importance of the entrance and orientation of the building. Building beyond this setback would change the visual continuity established.



Concrete ribbons leading to garage behind the house (921 W San Antonio St)



Front yard fence does not obscure the house (730 Belvin St)

- C.** Driveway approaches in the front yard lead to garages and secondary outbuildings, which are located behind the main house. Contemporary style houses have incorporated their garage or carports into their house plan, but typically they do not project beyond the established front wall of the house. While the construction of new garages and carports is

sometimes necessary, their placement and approach should respect the original “front line” of the house. This would place them behind the existing setback. Locating them to the rear of the property is preferable.

- D. Front yards are defined by sidewalks, yard curbs, short walls, boundary walls made of stone, brick, concrete or concrete block. These walls are low in profile and do not obscure the house. Front yard fences are not common in these neighborhoods, but there is evidence of historic fences in the Belvin Street Historic District.
- E. The following guidelines are recommended:
  1. Retain the orientation of the house to the street. To change the entrance from the front would alter the pedestrian approach and rhythm.
  2. Removing or relocating the sidewalk from the street would break the rhythm of the neighborhood. Broken sidewalks should be replaced but the location should remain. The material should match the original or should be compatible with the house and the surrounding neighborhood. Materials such as stone, concrete or brick pavers, and decomposed granite are appropriate replacement materials and are not as harsh as large expanses of concrete.



**Strong pedestrian approach (220 N Johnson Ave)**



**Retain orientation of house to street (921 W San Antonio St)**

3. Driveway locations should not be altered if it affects the rhythm of the street. Materials that might be used for a driveway are gravel, pea gravel with a brick or metal edge band, pavers, concrete strips or “ribbons” and asphalt. Front yard circular drives are not appropriate to the neighborhood because they encroach on the setback and break the rhythm on the street.
4. The style of the house and the surroundings should be considered when thinking of any type of front yard fence. For example, an ornate Victorian fence would look out of place in front of a Craftsman style house.
5. Review the reason for wanting to install a front yard fence. Did one exist historically? Houses constructed in the 1880s had front yard fences to keep livestock from roaming into the yard. Houses built in the 1920s had no fences in the front yard, which reflected a “progressive” movement when fencing laws reduced the chance for roaming livestock.
6. Can the fence be installed at or behind the setback line?

### Section C.3.2.6 Modern Conveniences and Amenities

- A. Historic homes offer charm and character not always found in current residential construction. As families grow and residents grow older, needs change. Air conditioning is a welcome relief from the heat and humidity in San Marcos. Additional rooms and bathrooms may be necessary as children get older. Steps may become impossible to maneuver with age or a disability.



The installation of a “no-step entrance” or ramp can maintain or prolong ones independence and mobility.

**B.** Adapting a historic home for modern use, while maintaining the homes original character, requires thoughtful planning. Weigh the safety and comfort concerns with that of historical accuracy, economic feasibility and long term impact. Ask yourself “How can this improvement or necessity be installed or removed without causing irreparable damage to the historic character of the house or neighborhood”.

**C.** The following includes some of the commonly installed amenities and additions to historic properties:

1. Carefully consider access ramps for temporary or long term disability, and the location and impact of the ramp on the house and neighborhood. The removal of a small section of railing on the side of a porch may be more convenient and less intrusive than to the front of the house. If the porch is not elevated, consider replacing the sidewalk with an incline to eliminate steps at the porch or door.
2. Air conditioning and electrical equipment should be installed in such a way that it will not damage important architectural features. Study possible locations for the equipment and install it where it is least visible from the street or can be screened with planting material.
3. Antennas and satellite dishes are considered a removable fixture but with some thought can be sited away from public view.
4. Chimneys are an important architectural feature and the removal or alteration of existing chimneys alters the historical integrity of the house.
5. Decks and patios can be compatible with historic houses if thought is given to location, proportion and materials.
6. Dormers are important to the composition of the roof and should not be eliminated. Scale and form should be retained. New dormers may allow for additional use of the attic, but should be designed to match the style of the original house.

**7.** Flags and banners are considered a removable amenity but care should be used when mounting to not damage the historic materials of the house.

**8.** Light fixtures located on the building exterior, porches, pathways and paved areas should be appropriate in design, scale and character of the house. There are many available adaptations of fixtures in various architectural styles. A Victorian light fixture is appropriate with a Victorian house but not appropriate with a Ranch or Craftsman style house.

**9.** Mailboxes and mail slots should be simple and as unobtrusive as possible. Mailboxes can be obtained in styles compatible with the time period of the house.

**10.** Shutters may be installed if they are in keeping with the style of the house and the period of construction. Shutters should be correctly proportioned to the width and height of the window and should be installed with hinges rather than nailed to the wall.

**11.** Skylights can add light to interior spaces and may make attic spaces more useable. If flat in profile and positioned away from public view skylights can be installed in older houses. Bubble dome skylights are not appropriate.

**12.** Storm/screen doors and windows can be installed without hiding the historic door and surrounding features. Metal framed doors and window screens are acceptable if selected with a white factory finished or painted the color of the door and window trim. Wood storm/screen doors and windows designed for the style of the house can be purchased at most lumber yards.

**13.** Orient garages away from the primary view and install single car doors instead of double wide doors.

**D.** As you formulate your ideas to modify and improve your home, questions will arise. There are many sources available for advice and assistance including a neighbor who has completed a similar project, the Texas Historical Commission, City Staff and the National Trust for Historic Preservation. Helpful resources can be found on the City’s website.

February 22, 2023

Honorable Members of the San Marcos Historic Preservation Commission

Subject: 804 Burleson St. Thursday, March 2, 2023 public hearing for Certificate of Appropriateness **HPC 23-06**

Greetings,

We remain opposed to any additional living units and garages being constructed at 804 Burleson St. for the following reasons:

The owners were aware, when they purchased a home in an established historical neighborhood, that there are necessary regulations and standards that must be followed. Residents have worked long and hard to maintain structural architectural integrity and upkeep, lawns and gardens that are appealing to community and visitors alike and have followed the zoning laws of single family residential habitation. They have chosen to disregard all of this-

Their fence is not constructed as approved and is mostly in shambles.

They have chosen to create an unmaintained yard- in the name of a nature preserve- that has produced vermin and rats that have overrun our property and have added expense to the maintenance of rat boxes to control their problem.

They added a "playroom" over their carport that has become a residential area and they continue to rent the house, various rooms and the entire property for events and for lodgers. It is not conducive to a residential area where we value safety. I do not know if they are doing this legally at this time- they have not in the past.

They continue to burn trash in the city limits, build structures that have not been approved, attach lean-tos to neighboring properties and keep piles of debris everywhere. Neither safe nor sightly. Code enforcement has been called out numerous times, to no avail, our firefighters come often to extinguish their random fires. Our police respond for excessive noise and traffic.

Please put your eyes on the property, correct the problem and do not add to it- deny the Certificate of Appropriateness.

Thank you for your service- Kathy & Randall Morris- 802 Belvin St.

# CERTIFICATE OF APPROPRIATENESS APPLICATION FORM

Updated: August, 2022



## CONTACT INFORMATION

Applicant's Name		Property Owner	
Company		Company	
Applicant's Mailing Address		Owner's Mailing Address	
Applicant's Phone #		Owner's Phone #	
Applicant's Email		Owner's Email	

## PROPERTY INFORMATION

Address of Proposed Work: \_\_\_\_\_

Historic District: \_\_\_\_\_ Tax ID #: R 27369

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Historical Designation(s) of Property, if applicable:

☐ National Register of Historic Places ☐ Recorded Texas Historic Landmark

## DESCRIPTION OF PROPOSED WORK

Please use this space to provide a detailed description of the proposed work (Use additional pages if necessary.)

## AUTHORIZATION

*Applicants or their agent are advised to attend the meeting to present information to the Historic Preservation Committee and to answer any questions the Historic Preservation Committee may have regarding the project. Failure to attend an HPC meeting may result in postponement or denial of the application.*

*I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

Filing Fee \$0

Technology Fee \$13

TOTAL COST \$13

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

**APPLY ONLINE – [WWW.MYGOVERNMENTONLINE.ORG/](http://WWW.MYGOVERNMENTONLINE.ORG/)**



## PROPERTY OWNER AUTHORIZATION

I, \_\_\_\_\_ (owner name) on behalf of  
\_\_\_\_\_ (company, if applicable) acknowledge that I/we  
am/are the rightful owner of the property located at  
\_\_\_\_\_ (address).

I hereby authorize \_\_\_\_\_ (agent name) on behalf of  
\_\_\_\_\_ (agent company) to file this application for  
\_\_\_\_\_ (application type), and, if necessary, to work with  
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner: \_\_\_\_\_  \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name, Title: \_\_\_\_\_

Signature of Agent: \_\_\_\_\_  \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name, Title: \_\_\_\_\_

Form Updated October, 2019

## AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

*I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.*

Signature:  \_\_\_\_\_

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Form Updated October, 2019

## **HPC-23-06**

### **Detached Garage & ADU**

Staff finds request consistent with the following:

- **Sections 4.5.2.1(I)(1)(a), 4.5.2.1(I)(1)(b), 4.5.2.1(I)(1)(e) 4.5.2.1(I)(1)(g) and 4.5.2.1(I)(1)(j):** San Marcos Development Code
- **Standards 1, 2, 3, and 9 :** Secretary of the Interior Standards for Rehabilitation

Staff finds request inconsistent with the following:

- **Sections 4.5.2.1(I)(1)(d) and 4.5.2.1(I)(1)(h):** San Marcos Development Code

Staff finds request neutral against the following:

- **Sections 4.5.2.1(I)(1)(c) and 4.5.2.1(I)(1)(f):** San Marcos Development Code
- **Standard 10:** Secretary of the Interior Standards for Rehabilitation